

#### **COUNCIL MEETING AGENDA**

Tuesday, November 14, 2023, 7:30pm

Council Chambers
Municipal Administration Building
285 Beech Hill Road
Beech Hill, NS B2G 0B4

- 1. Call to Order Chair Owen McCarron
- 2. Approval of Agenda
- 3. Approval of October 10, 2023 Municipal Council Minutes
- 4. Business Arising from the Minutes
- 5. Delegations
  - a. Antigonish Affordable Housing Appleseed Second Phase Development
- 6. Correspondence
  - a. Letter to NSFM Regarding Urgent Need to Improve Rural Cell Phone Coverage for Emergency Preparedness.
  - b. Response from the Minister of Public Works Regarding Speed Study and Pedestrian Counts on Highway 337 at Mount Cameron
- 7. Committee Reports
  - a. October 24, 2023 Asset Management Committee Report
  - b. October 24, 2023 Committee of the Whole Report
  - c. November 14, 2023 Committee of the Whole Report
- 8. Reports from Individual Council Members on Outside Boards, Conferences, and Community Activities
- 9. Motions
  - Second Reading Amendments to the Local Improvements By-law
    - i. That Municipal Council receive the proposed amendments to a By-law Respecting Local Improvements for Second Reading, and that Municipal Council approve the proposed amendments to Municipal Local Improvements Fees Policy.
- 10. Miscellaneous Business
- 11. Adjournment



#### **Municipal Council Meeting- Minutes**

Tuesday, October 10, 2023
Immediately Following the Committee of the Whole
Council Chambers
Municipal Administration Building
285 Beech Hill Road
Beech Hill, NS B2G 0B4

Councillors Present:

Warden Owen McCarron Councillor Remi Deveau (by Zoom)

Acting Deputy Warden Bill MacFarlane Councillor John Dunbar

Councillor Mary MacLellan Councillor Gary Mattie (by Zoom)
Councillor Donnie MacDonald Councillor Harris McNamara

Regrets:

Deputy Warden Hugh Stewart Councillor Shawn Brophy

Staff Present:

Glenn Horne, CAO Beth Schumacher, Deputy Clerk

Sean Donovan, Manager of Inspection

Services, EDPC

Also Present:

Gallery

Drake Lowthers, The Reporter Matt Draper, XFM (by Zoom)

#### Call to Order- Chairman, Warden Owen McCarron

Warden McCarron called the meeting to order at 7:30pm.

#### **Approval of Agenda**

Warden McCarron called for any additions or deletions to the agenda.

Min # 2023-1116

Moved and Seconded

That the agenda be approved as presented.

**Motion Carried** 



#### Approval of September 26, 2023 Municipal Council Minutes

Warden McCarron called for any errors or omissions in the minutes included in the agenda package.

Min # 2023-117

Moved and Seconded

That the Municipal Council Minutes of September 26, 2023 be approved.

**Motion Carried** 

#### **Business Arising from the Minutes**

Warden McCarron welcomed Acting Deputy Warden Bill MacFarlane to the role, following the appointment made by Council at the special meeting held on September 26, 2023.

#### **Public Hearings**

<u>Dangerous and Unsightly – Property of LNB inc. Fairmont Road, Antigonish Harbour</u>

Mr. Donovan provided an overview of the property in question, with photographs of the buildings and debris in question. Mr. Donovan noted that he has been in contact with the property owner, who has had a contractor on site earlier this week. Work is expected to be completed shortly, but Mr. Donovan suggested to continue with the 30-day demolition order should the arrangements with that contractor fall through.

#### Min # 2023-118

Moved and Seconded

That Municipal Council issue a 30-day demolition order to the property owner of PID 10130755, that the property owner should demolish the structures on the property, clean up the property of debris and derelict vehicles, and leave the site safe and clean.

**Motion Carried** 

#### **Correspondence**

Warden McCarron noted that he received a response from Senator Prosper, thanking him for the letter of congratulations sent by the Municipality following his appointment.

#### **Committee Reports**

October 5, 2023 Joint Police Advisory Board Report

No recommendations were put forward.

October 10, 2023 Committee of the Whole Report

No recommendations were put forward.



## Reports from individual Council Members on Outside Boards, Conferences, and Community Activities

- Councillor Dunbar shared that the Antigonish Arena Board meets on Wednesday October 11th, that the Heritage Board AGM will take place on Monday October 16<sup>th</sup>, and that a pub night was held at the Heatherton Community Centre on Friday Oct 6<sup>th</sup>.
- Deputy Warden MacFarlane noted that the EDPC Board Meeting that was scheduled for September will be rescheduled.
- Councillor MacDonald provided an update from the ERSWM meeting, noting that
  the new compliance vehicle is expected in December, the board has applied for a
  grant from the Carton Council of Canada, and that the 2024-2025 budget
  planning is underway.
- Councillor MacLellan noted that the library meeting will be held on October 19<sup>th</sup> in New Glasgow.
- Councillor Mattie shared that he and Mr. Horne attended the Chamber of Commerce meeting about accessibility. He also attended the Provincial Department of Public Works meeting regarding the twinning of Highway 104 from Taylor's Road to Paqtnkek, held in Heatherton on September 27<sup>th</sup>.
- Councillor Deveau shared that he was currently attending the Recreation Nova Scotia conference in Digby.
- Warden McCarron had a Physician Navigator meeting with the new coordinator.

#### **Motions**

There were no additional motions.

#### **Additions to the Agenda**

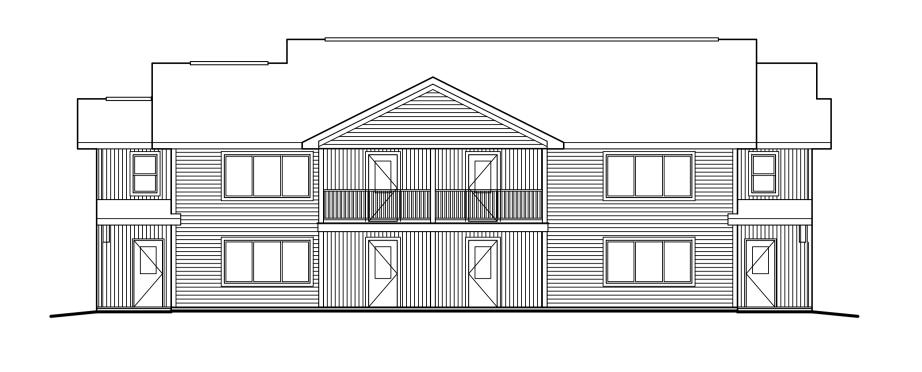
There were no additions to the agenda.

#### **Miscellaneous Business**

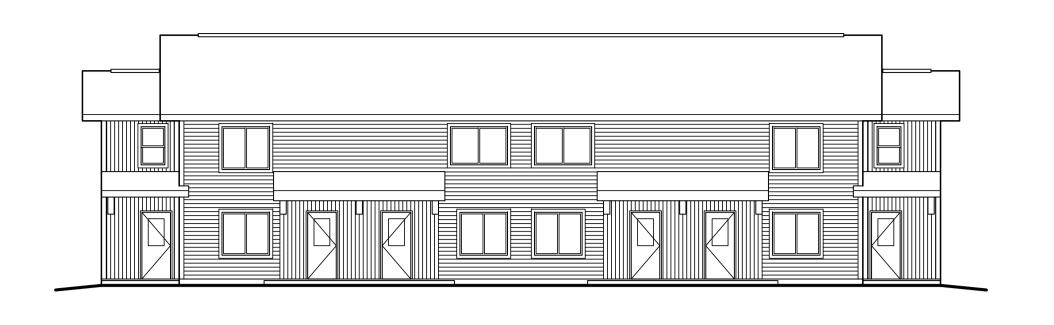
Deputy Warden MacFarlane welcomed former Councillor Leonard McCarron and his granddaughter Madeline McCarron, who was in attendance to observe a Council meeting as part of her studies.

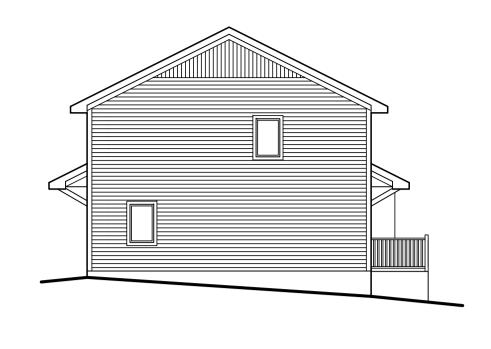


# Min # 2023-119 Moved That the Council meeting adjourns at 7:51pm. Motion Carried Warden Owen McCarron Glenn Horne, CAO



BUILDING C





BUILDING B

BUILDING A

APPLESEED DRIVE ELEVATIONS
SCALE: NTS

# ANTIGONISH AFFORDABLE HOUSING APPLESEED DRIVE PHASE 2

ANTIGONISH, NOVA SCOTIA

ISSUED FOR REVIEW
REVISION

archibald & fraser architects ltd.

P.O. BOX 1358 ANTIGONISH, NS B2G 2LT 863-0966

PROJECT
ANTIGONISH AFFORDABLE
HOUSING SOCIETY

PHASE 2

APPLESEED DRIVE ANTIGONISH, NOVA SCOTIA

COVER SHEET

SCALE NTS	DATE SEP 2022
DRAUN CLC	REVIEWED

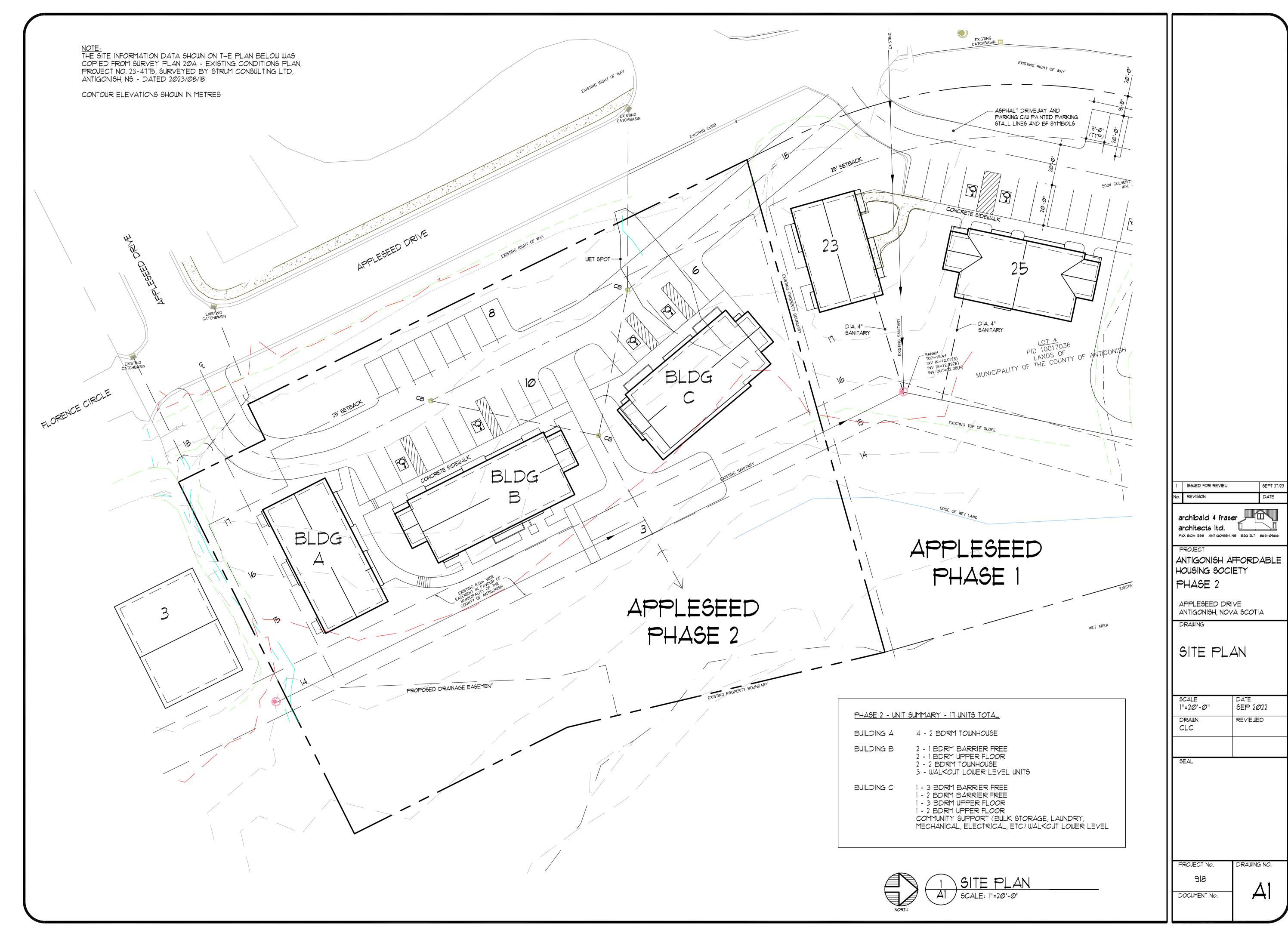
SEAL

PROJECT No.

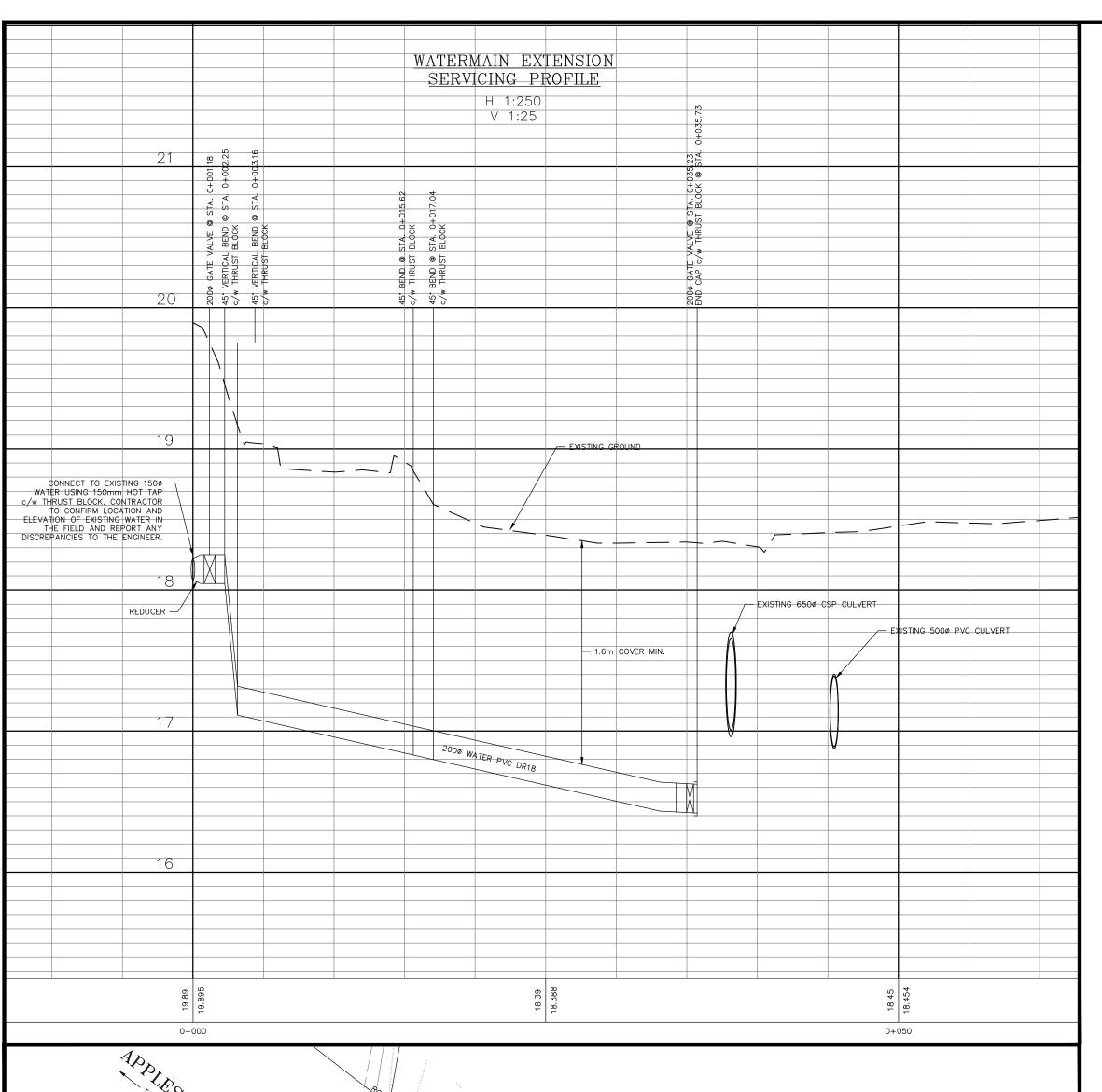
918

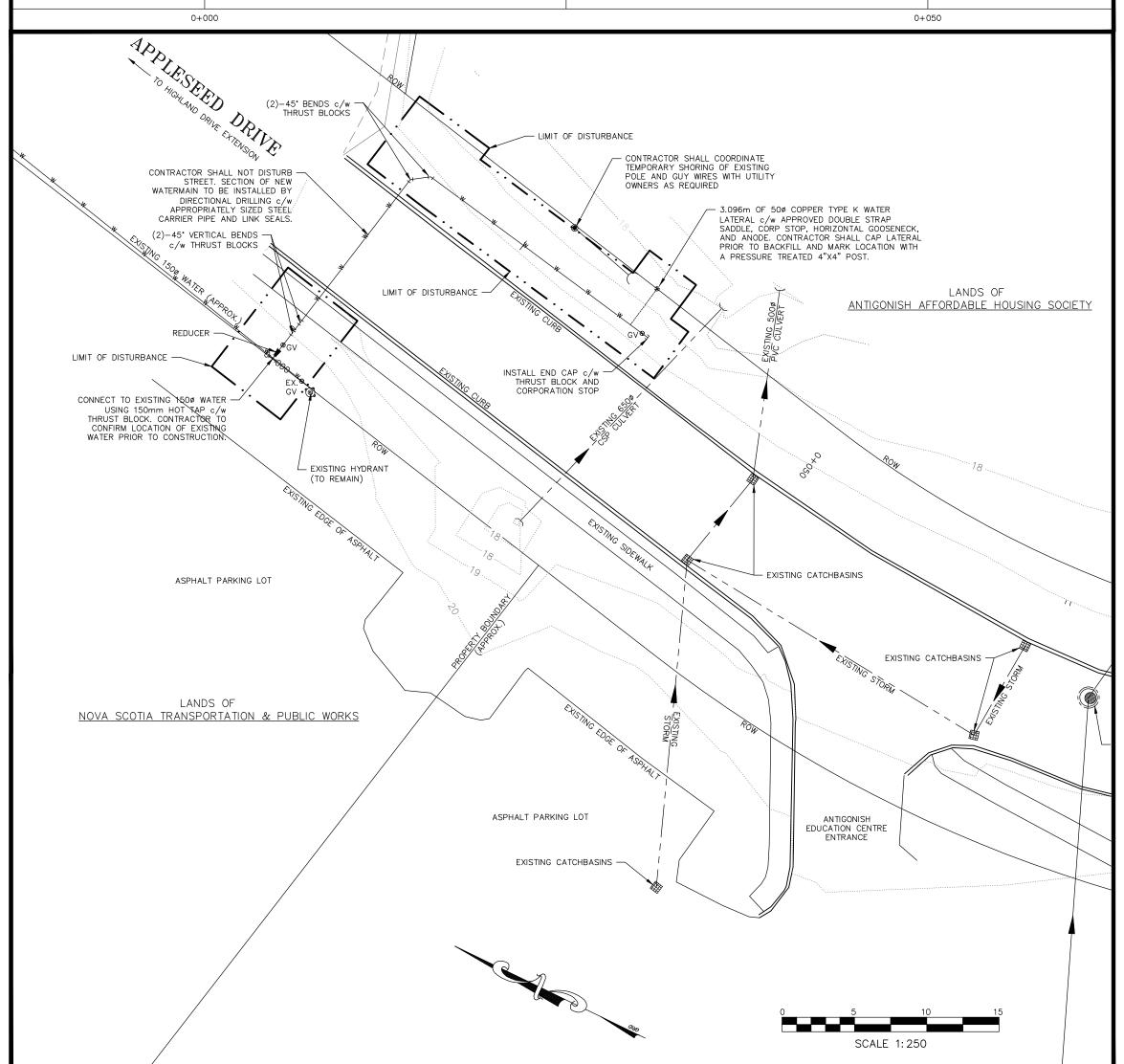
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#### SEDIMENTATION & EROSION CONTROL NOTES

- 1. All work shall be in accordance with the latest revision of the Nova Scotia Department of the Environment's Erosion and Sedimentation Control Handbook for Construction Sites.
- 2. The contractor must prepare their own Erosion & Sedimentation Control (ESC) plan (including a contingency plan for failure of ESC measures) for approval by the consultant prior to construction. A marked up copy of the drawings will be acceptable. Measures shown on this plan should be considered a suggestion only.
- 3. The ESC plan shall be updated continuously as conditions change or as requested by the Consultant.
- 4. Before grubbing commences, clearing limits, easements, setbacks, sensitive/critical areas and their buffers. trees and drainage courses shall be delineated with flagging tape and enviro—fences. This ensures workers can clearly recognize areas to be protected. Grubbing material to be disposed of at a location approved by the owner.
- 5. All erosion control measures shall be confirmed on site prior to construction and shall be subject to review by the Consultant. The consultant may advise if any alterations or additional measures are required above and beyond those indicated on this drawing.
- 6. The amount of exposed soil areas onsite must remain at a minimum at all times using wood chips or straw on the exposed areas.
- 7. Install filter fabric in all existing nearby catchbasins during construction as well as new catchbasins as early as possible.
- 8. The installation of silt fence shall be reviewed by consultant in accordance with the plan. Filter fabric shall be Terrafix 370 RS or equivalent.
- 9. Silt accumulation along silt fences and swales shall be removed regularly. 10. All water pumped from ditches, swales or sumps shall
- be filtered through a sediment trap, 2m³ (3yd³) of class 'B' gravel, filter bag, or undisturbed vegetation to filter out solid material.
- 11. Contractor shall monitor meteorological conditions and forecasts as a proactive means to minimize the potential for erosion.
- 12. The effectiveness of the control measures shall be inspected and monitored during rain events and maintained and upgraded as necessary or as directed by the consultant or environmental inspectors.
- 13. The Contractor shall incorporate a routine end—of—day check to ensure the integrity of the protection
- 14. The Contractor shall maintain emergency erosion control materials onsite.
- 15. Machinery maintenance shall not be performed in or near a watercourse, ditch or storm sewer. Some examples of maintenance include, but are not limited to, washing out cement mixers, changing oil, greasing, spray painting, cleaning of spraying equipment or painting equipment, etc.

BACKFILL, COMPACTED IN 300mm THICK LAYERS. NOTE: ROCK LARGER THAN 200mmø

IS NOT SUITABLE BACKFILL MATERIAL

OVER 1200 DRAWAINGS

- 16. Any hazardous liquid including fuel and lubricants shall be stored in a designated area surrounded by an impervious berm which would contain a spill of the
- 17. Any spillage of a hazardous material into any watercourse must be reported to Nova Scotia Environment.

volume of all stored liquid.

- 18. The Contractor is responsible for dust control on site. Dust must be prevented through application of exposed dry soils to prevent dust from being generated and blown from the site to adjacent areas.
- 19. Temporary sediment and erosion control measures shall remain in place for the duration of the project and removed once approved by the Consultant.
- 20. Contractor must have a person on site daily who has successfully completed the Erosion and Sediment Control (ESC) course provided by NSTIR, NS Environment, Fisheries and Oceans Canada (DFO), and St Francis Xavier University. The person should be able to show their "Green Card" on demand.
- 21. Contractor to install and maintain diversion ditches around (and through) the site as necessary to "keep clean water clean".

#### WATERMAIN NOTES:

- 1. For corrosion protection of watermains and fittings, install zinc anodes on all valves, hydrant bases, and copper service connections.
- 2. A minimum of 450mm vertical separation shall be maintained between the watermain and storm/sanitary pipes at crossing locations.
- 3. The Contractor shall be responsible for all pressure testing, leakage testing, disinfecting and flushing of water system pipe—work. All testing and disinfection shall be conducted in the presence of the consultant and County Staff. Testing shall be in accordance with latest edition of the Standard Specifications for Municipal Services.
- 4. The Contractor shall arrange and pay for any additional pressure and bacteriological tests should the first cycle of testing fail to meet specifications. Submit results to the consultant for review.
- 5. Watermain shall have concrete thrust blocks and approved mechanical thrust restraints at all tees, bends, capped ends, under valves, and at fire hydrants, etc. Refer to Standard Specifications for Municipal Services (Blue Book)
- 6. All watermains shall have a minimum of 1.6m of cover and a maximum of 2.0m of cover, unless otherwise
- 7. All valves to close as per municipal specifications.
- 8. Watermain pipe shall be PVC DR18 complete with tracer wire. Refer to detail #6 & #7 on DWG CO2.
- 9. New watermain within extents of existing street to be installed by Directional Drilling. No disturbance to street is permitted.
- 10. All valve box covers on streets to be paved shall be raised to either base course grade or surface course grade as applicable.

TYPE 1 GRAVEL BEDDING AND PROTECTION PLACED BY HAND AND COMPACTED IN 150mm

UNDISTURBED SUITABLE GROUND OR COMPACTED SUITABLE MATERIAL

25 FINISHED GRADE

PAVEMENT STRUCTURE

DETAIL #1

1. TRENCH WORK TO BE COMPLETED IN STRICT COMPLIANCE WITH NOVA SCOTIA OCCUPATIONAL HEALTH AND SAFETY ACT AND THE DEPARTMENT OF LABOUR. TRENCH MUST BE EXCAVATED SUCH THAT MAXIMUM VERTICAL WALLS ARE 1220mm

(4.0') AND THEN TRENCH WALLS NOT STEEPER THAN 1 TO 1. IF THE CONTRACTOR CAN NOT ACHIEVE THE REQUIRED MAXIMUM HEIGHT AND SLOPE, THE WORK MAY

COVER MEASURED FROM THE FINISHED GRADE SURFACE TO THE CROWN OF THE WATERMAIN SHALL BE NO LESS THEN 1600mm WITHOUT THE USE OF INSULATION.

DETAIL #2

TYPICAL CURB & GUTTER

NOT TO SCALE

2. DASHED LINE "B" INDICATES CURB AT PEDESTRIAN RAMPS.
3. TRANSITION TAPERS SHALL BE PROVIDED AT DRIVEWAYS AND PEDESTRIAN RAMPS AS PER THE "PEDESTRIAN RAMP ALIGNMENT" DETAIL AND

1. DASHED LINE "A" INDICATES CURB AT DRIVEWAYS.

"DRIVEWAY RAMP" DETAIL.

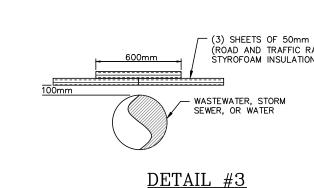
ONLY PROCEED WITH THE USE OF AN APPROPRIATE TRENCH CAGE

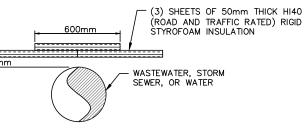
APPROVAL FROM THE ENGINEER/OWNER IS REQUIRED ..

TYP. SINGLE PIPE TRENCH INSTALLATION

#### SAFETY NOTES

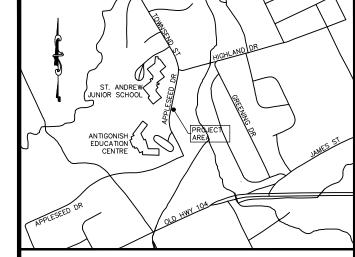
- 1. The Engineer will not be responsible for and will not have control or charge of construction means, methods, techniques, sequences or procedures or for safety precautions and programs required for the work in accordance with the applicable construction safety legislation, other regulations or general construction practice. The Engineer will not be responsible for or have control or charge over the acts or omissions of the construction manager, Contractor, subContractors or their agents, employees or other persons performing any of the work.
- 2. The Contractor shall have complete control of the work and shall effectively direct and supervise the work so as to ensure conformance with the contract documents. He shall be solely responsible for construction means, methods, techniques, sequences and procedures and for coordinating the various parts of the work under the contract.
- 3. The Contractor shall be solely responsible for construction safety at the place of work and for compliance with the rules, regulations, and practices required by the applicable construction safety legislation.
- 4. The Contractor shall indemnify and hold harmless the Engineer and the owner in connection with any infractions or alleged infractions of the Contractor with respect to any acts, codes, regulations, etc.
- 5. The Contractor shall be the constructor under the Nova Scotia Occupational Health and Safety act. Neither the Engineer nor the owner are constructors under the act.
- 6. The Contractor shall exercise extreme caution when working near existing power lines, and comply with all safety regulations with respect





PIPE INSULATION

NOT TO SCALE INSULATION TO BE USED WHEN MINIMUM COVER (1.2m FOR STORM, 1.5m FOR SANITARY, 1.6m FOR WATER) CANNOT BE ACHIEVED. EQUIVALENCE: 50mm H1-40 RIGID INSULATION = 300mm COVER



<u>Key Plan</u>	NOT TO SC
<u>LEGEND</u>	

————— SANITARY M.H. & SEWER

HYDRANT —W——

W— GATE VALVE & WATERMAIN ■ CATCHBASIN (CURB & FLAT)

LATERALS: SAN. STM. & WM. ------ U/G ELEC. LINES (COMMS. & POWER) STREET TREE

POWER POLE POWER POLE WITH LIGHT FIXTURE ANCHOR ON LIGHT POLE ALIANT FLUSH BOX N.S.P.I. URD BOX

- CONCRETE CURB & GUTTER SIDEWALK (CONC. & ASPHALT) DRIVEWAY PEDESTRIAN RAMP

----- PROPERTY LINE · —· —· —· EXISTING PROPERTY LINE PROFILE LEGEND

← Ç DESIGN FINISHED GRADE --- -- EXISTING CENTERLINE GRADE ---- EXISTING GRADE (RIGHT SIDE R.O.W.) — · · · · EXISTING GRADE (LEFT SIDE R.O.W.)

#### **GENERAL NOTES:**

- Elevations are Geodetic CRS: NAD 83 2010, and refer to Nova Scotia Co-ordinate Monument System. NSCM #223078 Elev. = 25.318m.
- All work shall be in accordance with the latest edition of The Municipality of the County of Antigonish Standards as well as the Standard Specifications for Municipal Servicing (Blue Book) published by the Nova Scotia Road Builders Association.
- All temporary traffic control measures are the responsibility of the contractor and shall be in accordance with Nova Scotia Temporary Workplace Traffic Control Manual.
- Information shown as to existing works is approximate only. The contractor shall be responsible for locating existing underground infrastructure (ie. Telephone, cable, fibre optic, power lines, gas, etc.) before proceeding with
- For layout control survey markers, the Contractor is to contact Strum Consulting. Do not disturb existing survey markers or services in the area. Reinstate and make good any damage or disturbance at contractor's cost.
- Do not encroach on adjacent property. Make good any damage to adjacent properties at contractor's expense.
- All areas disturbed by construction shall be repaired and reinstated to original condition and
- For additional notes and details refer to Drawing 20-3912-C02.

to the satisfaction of the Owner/Engineer.

1.	ISSUED FOR TENDER	MAY 7/21	BED
0.	ISSUED FOR REVIEW	MAR. 12/21	BED
No	Description	Date	Ву

Revision or Issue



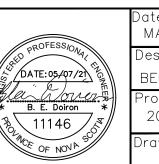
| Project

APPLESEED DRIVE WATERMAIN EXTENSION

Drawing

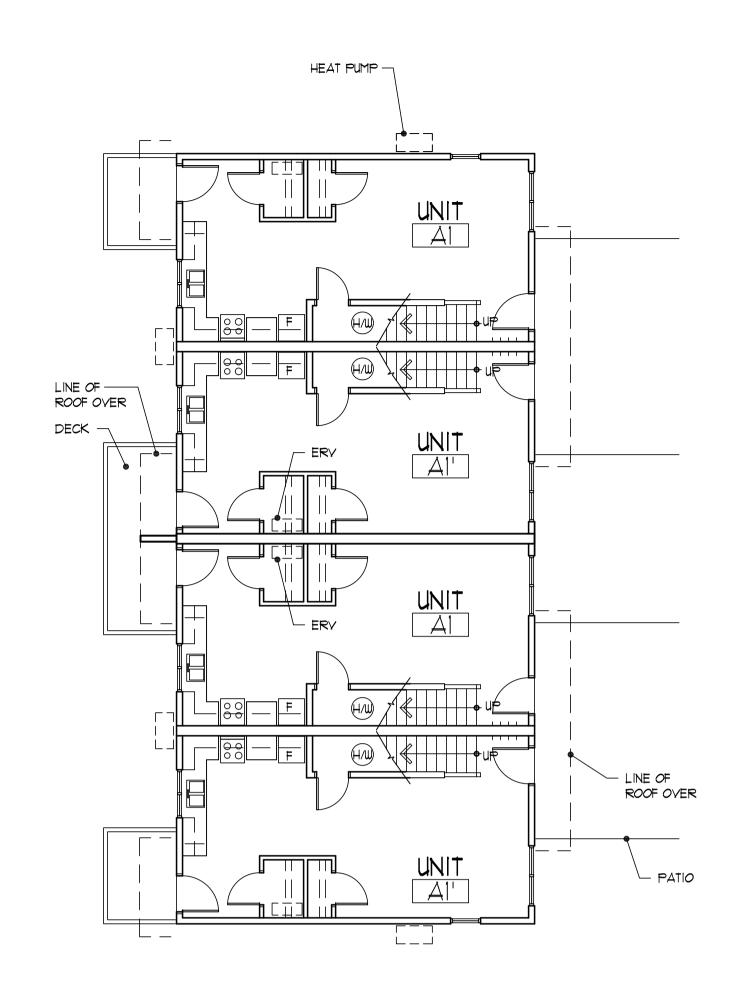
PLAN AND PROFILE CONSTRUCTION DETAILS

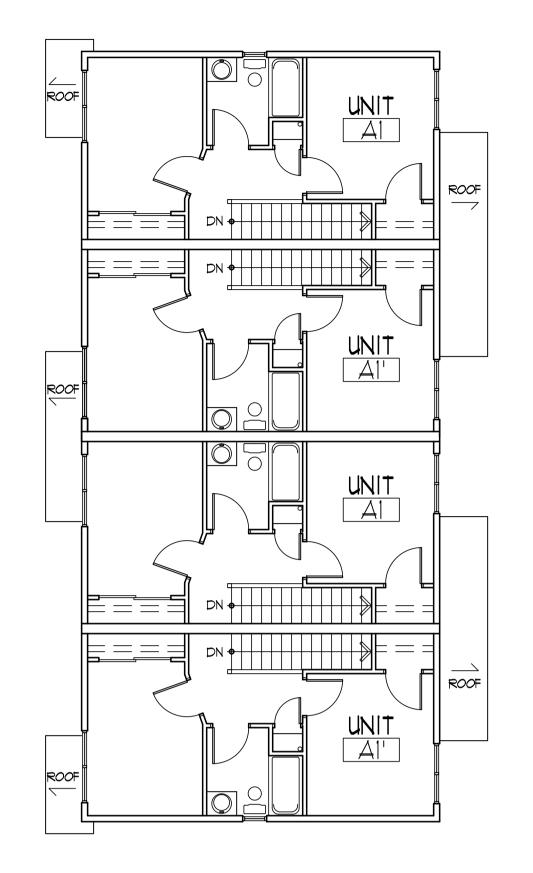
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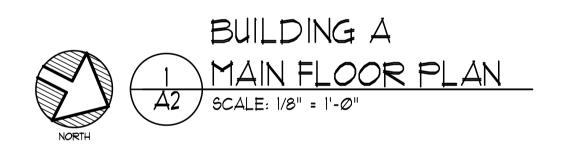


MAR. 12/2 RM roiect No. 20-3912 rawing No. C01

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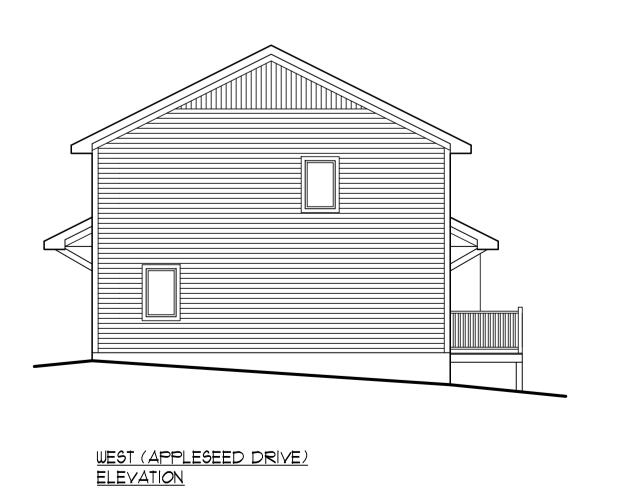












BUILDING A

3 EXTERIOR ELEVATIONS

A2 SCALE: 1/8" = 1'-0"

1 ISSUED FOR REVIEW SEPT 27/23

No. REVISION DATE

archibald & fraser architects ltd.

P.O. BOX 1358 ANTIGONISH, NS B2G 2LT 863-0966

ANTIGONISH AFFORDABLE HOUSING SOCIETY
PHASE 2

APPLESEED DRIVE ANTIGONISH, NOVA SCOTIA

BUILDING A
PLANS &
ELEVATIONS

SCALE AS NOTED	DATE SEP 2022
DRAWN CLC	REVIEWED

PROJECT No.

918

DOCUMENT No.





#### **SCHEDULE A**

### Antigonish Affordable Housing Society Applesseed Drive, Antigonish County - 10079572 - 17 Units

#### **Capital Cost Estimates**

Land		142.000		
Land Soil Test		142,000		
Survey		10,000 0		
Title/Recording		0		
Appraisal		2,500		
Demolition		2,300		
Site		0		
TOTAL LAND COST		154,500	_	
		20.,000	•	
Consultants		130,000		
Energy Audit		10,000		
Development Charges		0		
Legal Fees		0		
Construction Contract		3,519,965		
Net Zero		225,000		
Construction Management		18,000		
Appliances		75,000		
Laundry Equipment		0		
Construction Interest		16,500		
Utilities Fees		5,000		
Insurance during Construction  Municipal Fees		9,000 0		
Taxes during Construction		3,000		
Landscaping		15,000		
Surface Parking/Paving		·	incl in const contract	
Contingency		175,000		
HST Paid	593,245			
Less HST Rebate	-423,735			
Net HST Paid		169,510		
TOTAL BUILDING COST		4,370,975	•	
TOTAL DEVELOPMENT COST		4,525,475		
			•	
Average Unit Cost	266,204			
AHP Capital Contribution	0	1,457,201		32%
Equity Contribution	0	226,274		5%
Financing	0	1,400,000		31%
Third Party Contribution - Efficiency	0	0		
CHMC - NHCF Contribution	0	425,000	Basic	9%
CHMC - NHCF Contribution		425,000	Premium Afforc	9%
CHMC - NHCF Contribution		· · · · · · · · · · · · · · · · · · ·	Premium Energ	9%
SEED Funds - Green		25,000	-	1%
Land	0	142,000		3%
TOTAL DEVELOPMENT COST	0	4,525,475		100%
		. ,		

#### **Pro Forma Operating Budget**

	Year 1	Year 2	Year 3	Year 4	Year 5
Revenue					
Gross rent potential <sup>1</sup>	\$181,686	\$185,320	\$189,026	\$192,807	\$196,663
Town and County Invested	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000
Less Vacancy Allowance <sup>2</sup>	\$1,817	\$1,853	\$1,890	\$1,928	\$1,967
Total Operating Income	\$191,869	\$195,467	\$199,136	\$202,879	\$206,696
Estimated Annual Expenses					
Taxes & Sewer	\$25,500	\$26,138	\$26,791	\$27,461	\$28,147
Utilities	\$13,000	\$13,325	\$13,658	\$14,000	\$14,350
Insurance	\$17,500	\$17,938	\$18,386	\$18,846	\$19,317
Water	\$3,500	\$3,588	\$3,677	\$3,769	\$3,863
Snow removal, Garbage & Landscaping	\$22,000	\$22,550	\$23,114	\$23,692	\$24,284
Maintenance & Repairs	\$5,500	\$5,638	\$5,778	\$5,923	\$6,071
Service contracts	\$0	\$0	\$0	\$0	\$0
Property Management Fees	\$9,084	\$9,311	\$9,544	\$9,783	\$10,027
Salaries & Benefits	\$0	\$0	\$0	\$0	\$0
Professional Fees	\$0	\$0	\$0	\$0	\$0
Replacement Reserve	\$7,267	\$7,449	\$7,635	\$7,826	\$8,022
General & Administration	\$270	\$277	\$284	\$291	\$298
Other	\$0	\$0	\$0	\$0	\$0
Sub-Total Expenses	\$103,622	\$106,212	\$108,868	\$111,589	\$114,379
Net Cash Flow Income	\$88,247	\$89,254	\$90,268	\$91,289	\$92,317
Debt Service <sup>3</sup>	\$89,284	\$89,284	\$89,284	\$89,284	\$89,284
Total Expenses	\$192,906	\$195,496	\$198,152	\$200,873	\$203,663
Net Operating Income	(\$1,037)	(\$30)	\$984	\$2,005	\$3,033
rect operating intomic	(71,007)	(230)	750-4	72,003	75,033

 $<sup>^{\</sup>rm 1}$  Base Year: 8 two-bdrm units @ \$971.25/mth; 2 three-bdrm units @ \$1162.50/mth; Rent increase in Year 2

<sup>&</sup>lt;sup>1</sup> Base Year: 5 one-bdrm units @ \$724.50/mth; 2 two-bdrm units @ \$906.50/mth; Rent increase in Year 2

Rent increases beyond Year 5 require written approval from Housing Nova Scotia  $^{\rm 2}$  Vacancy Allowance @ 1%

<sup>3</sup> Based on \$1,400,000 @ 4.1% amortized over 25	year	rs; \$7440.37 r	monthly	y payment	Annually \$	89,284	
	<u> </u>	MMR - NS	Affo	rdable Rent 75%	<u>Units</u>	<u>Rents</u>	
1 bedroom	\$	1,035.00	\$	776.25	2 \$	1,552.50	
2 bedroom	\$	1,295.00	\$	971.25	6 \$	5,827.50	
3 bedroom	\$	1,550.00	\$	1,162.50	2 \$	2,325.00	
			Affo	rdable Rent 70%			
1 bedroom	\$	1,035.00	\$	724.50	5 \$	3,622.50	
2 bedroom	\$	1,295.00	\$	906.50	2_\$	1,813.00	_
					\$	15,140.50	Monthly
Pertcantage of unit at 70% of MMR				41%	\$	181,686.00	Annually

Expenses based on actual Appleseed Court

We will be requesting financial support from the Town and County of Antigonish. It is expected we will receive \$150,000 from each municipal government. This will be provided over a five year period.

Our equity contribution includes \$100,000 for the Town and County and \$100,000 for the Sisters of St Martha.











October 11, 2023

Nova Scotia Federation of Municipalities Suite 1304, 1809 Barrington Street Halifax, NS B3J 3K8

Attention: Mayor Brenda Chisholm-Beaton, President, Nova Scotia Federation of Municipalities (NSFM)

Email: bchisholmbeaton@townofph.ca

<u>Subject: Urgent Need for Advocacy to Improve Rural Cell Phone Coverage for Emergency Preparedness</u>

Dear Mayor Chisholm-Beaton,

I am writing to you with an urgent and critical concern that necessitates immediate action; the lack of reliable cell phone coverage in rural parts of Nova Scotia. Recent events, such as wildfires, floods, and hurricanes, have emphasized the imperative need for robust communication networks in these areas.

While natural disasters have always posed a risk, the increasing frequency and severity of these events make it even more essential for our rural communities to have dependable cell phone coverage. In times of emergencies, many residents do not receive timely alerts or information due to the inadequate or non-existent cell phone signal, endangering lives, and properties. Communication is a vital lifeline that can make all the difference in these perilous situations.

The recent initiative in Toronto, where all subway riders will have cellphone service from October 3rd, underscores the vital importance of connectivity for public safety and economic prosperity. Spearheaded by the Federal Minister of Innovation, Science and Industry, François-Philippe Champagne, this move responds to concerns over restricted connectivity, ensuring that riders can promptly access emergency services and maintain consistent communication for both personal and business needs. If such measures can be executed in urban centers like Toronto, it becomes imperative for the government to address similar concerns in rural communities, such as the Municipality of Shelburne. In emergencies like the recent fires, several residents couldn't receive crucial evacuation alerts due to absent cell coverage. Just as Toronto's subway riders are safe guarded with mandated service provisions, residents of rural communities deserve the same commitment to their safety and well-being.

As you are aware, reliable cell phone coverage is not merely a matter of convenience but a critical infrastructure need that impacts the well-being and safety of our residents. Not only does this affect individual households, but it also hampers the efforts of emergency responders who rely on clear lines of communication to coordinate rescue and relief activities.

I urge you, in your capacity as the President of the Nova Scotia Federation of Municipalities, to prioritize and intensify your advocacy towards both the Provincial and Federal Governments through your Public Safety Advisory Committee or possibly creating a dedicated committee on the issue. While it is understood that there are multiple challenges and budget constraints to be managed, the well-being and safety of the citizens should always be paramount.

Moreover, improved cellular infrastructure would not only enhance safety but also contribute to the economic and social development of these rural areas. This long-term investment would benefit our communities in multiple ways, making it a "win-win" situation for all stakeholders involved. Thank you for your attention to this vital issue. Together, we can forge a stronger and safer Nova Scotia for everyone.

Sincerely,

Warden Penny Smith Municipality of Shelburne Warden Eddie Nickerson Municipality of Barrington Mayor Rex Stoddard Town of Clark's Harbour

Rulldhod

Mayor Cory Nickerson Town of Lockeport

fon NA

Mayor Harald Locke Town of Shelburne

Hard Flords

Tim Houston, Premier
Rick Perkins, MP – South Shore – St. Margarets
Nolan Young, MLA – Shelburne
Juanita Spencer, NSFM - Chief Executive Officer
Ellen Desmond, CRTC – Commissioner Atlantic Region & Nunavut
Paul Mason, NSEMO – Executive Director
All Nova Scotia Municipalities

From: <u>Glenn Horne</u>
To: <u>Beth Schumacher</u>

**Subject:** FW: EXTERNAL: Province Invests in New Cellular for Nova Scotia Program

**Date:** November 6, 2023 3:41:20 PM

From: Build Nova Scotia <info@buildns.ca>
Sent: Wednesday, November 1, 2023 11:16 AM

**To:** Glenn Horne <glenn.horne@antigonishcounty.ns.ca>

Subject: EXTERNAL: Province Invests in New Cellular for Nova Scotia Program

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# Province Is Taking Action to Bring Cell Service to All Nova Scotians

Cellular for Nova Scotia Program - Fall 2023 Update

On October 26, 2023, the Province announced it is investing \$47.3 million to start the new <u>Cellular for Nova Scotia Program</u> to expand telecommunications infrastructure and communications networks throughout the province.

Build Nova Scotia has been charged by the Province to plan, design, and manage the implementation of expanded cellular coverage throughout the province.

Led by Build Nova Scotia, this will involve a two-phased approach:

- The first Request for Proposals (RFP) is seeking innovative and cost-effective proposals to install cellular equipment on existing provincially-owned towers and other existing towers and/or infrastructure identified by proponents to expand cell coverage in underserved areas. The focus is on more immediate innovative solutions.
- RFP 2 will follow to seek solutions to address remaining gap areas.

This will also ensure that the solutions identified are sustainable and are being coordinated with federal and provincial initiatives planned or underway, while ensuring maximum coverage as early as possible.

This investment is based on an initial understanding/analysis of the anticipated cost however responses to the RFPs will better determine exact costs. Build Nova Scotia will look to maximize investments from and leverage key partnerships with the Federal Government, municipalities, and the private sector.

The coverage objective is to provide cellular coverage to 99% of Nova Scotia where people live, work, and travel. This is for Basic Voice Call service.

Overall, the goal is to achieve the following coverage targets throughout the populated areas of the province:

- 1. 99% coverage for Basic Voice Call service
- 2. 95% coverage for Standard-Definition service (eg. emails, web browsing and social media)
- 3. 85% coverage for High-Definition service (eg. video conferencing, movie streaming, and other data intensive applications)

The initial focus will be in major transportation corridors and areas with civic addresses.

A separate \$3.3 million is being invested to build four new trunked mobile radio 2 (TMR2) towers to expand radio coverage for first responders in West Bay Road/Marble Mountain, Pleasant Bay in Inverness County, Framboise, Richmond County, and Greenfield in Queen's County.

These areas were identified as strategic locations that would play a role in the expansion of rural coverage for the TMR2 Public Safety Radio network. This could also help improve cell coverage access if telecommunications providers attach their equipment to those towers to extend coverage.

In 2022, Build Nova Scotia commissioned a cell gap study on behalf of the Province to study cell service levels and identify critical gaps throughout the

province. This study and additional analysis has provided a clearer understanding of a common challenge experienced across the country and helped define the scope of the problem. This will continue to be refined with ongoing discussions and RFP responses.

Through the program, a comprehensive strategy to increase cell coverage will involve working with telecommunications companies and government partners.

#### Click here for the full site and more information.

"Having reliable cell service is essential for Nova Scotians. It's a matter of safety, and it's something we all count on constantly. The current situation needs to be addressed, and we are the first government in 30 years to address this critical issue."

 Kim Masland, Minister of Public Works and Minister responsible for Build Nova Scotia

#### **Frequently Asked Questions**

#### Q. What is this project?

**A.** Build Nova Scotia is establishing the Cellular for Nova Scotia Program to expand telecommunications infrastructure and communications networks throughout the province. Through the program, a comprehensive strategy will improve cell coverage for both civic addresses and major roadways. It will involve working collaboratively with all partners in the telecommunications industry and across government.

#### Q. What is the \$47.3 million in funding that was announced?

**A.** Government is investing \$47.3 million to start the new Cellular for Nova Scotia Program to expand telecommunications infrastructure and communications networks throughout the province.

This investment is based on an initial understanding/analysis of the anticipated cost however responses to the RFPs will better determine exact costs. Build Nova Scotia will look to maximize investments from and leverage key partnerships with the Federal Government, municipalities, and the private sector.

Q. Is there anything planned to improve communications emergency services

#### in this program?

**A.** Yes. A separate \$3.3 million is being invested to build four new trunked mobile radio 2 (TMR2) towers to expand radio coverage for first responders in West Bay Road/Marble Mountain, Pleasant Bay in Inverness County, Framboise, Richmond County and Greenfield in Queen's County.

These areas were identified as strategic locations that would play a role in the expansion of rural coverage for the TMR2 Public Safety Radio network. This could also help improve cell coverage access if telecommunications providers attach their equipment to extend coverage

#### Q. What are you looking for from this initial RFP?

**A.** The Cellular for Nova Scotia Program includes a phased approach. The first REP seeks proposals for innovative ways cellular coverage can be improved using current government infrastructure or existing privately owned towers in a fast and cost-effective manner.

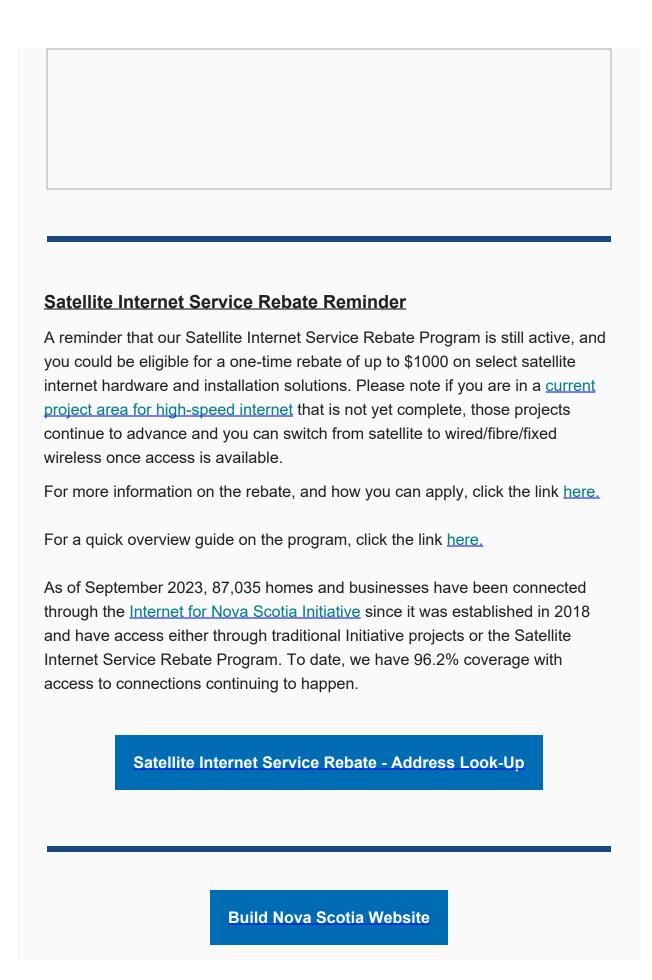
The focus on phase 1 (RFP 1) is seeking more immediate innovative solutions to improve cellular coverage to underserved locations. RFP 2 will follow to seek solutions to address remaining gap areas.

#### Q. Will I have access? What will this provide?

**A.** The strategy will include closing the gaps and reducing the underserved areas as quickly as possible. That said, filling those gaps will involve installing significant amounts of additional telecommunications equipment throughout the province, which will take time. The initial RFP is anticipated to close late this fall.

Build Nova Scotia recognizes that implementation periods will vary with the scope and complexity of the proposed projects. The goal is to have these initial projects substantially completed by December 31, 2024.

To view the full list of FAQs, visit here.





If you have questions, please contact us at <a href="mailto:satellite@buildns.ca">satellite@buildns.ca</a> or by calling <a href="mailto:1-800-298-2854">1-800-298-2854</a>.

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#### Our head office address is:

Build Nova Scotia
Suite 301 - 1875 Upper Water Street
Halifax, Nova Scotia
B3J 1S9

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PO Box 186, Halifax, Nova Scotia, Canada B3J 2N2

#### NOV 0 7 2023

Warden Owen McCarron
Municipality of the County of Antigonish
285 Beech Hill Road
Beech Hill, NS B2G 0B4
beth.schumacher@antigonishcounty.ca

Dear Warden McCarron:

Thank you for your correspondence of October 10, 2023, regarding your request for an update on a speed study and the installation of a crosswalk on Highway 337 at the Mount Cameron Circle intersection in Antigonish County.

I have been advised that the District Traffic Supervisor has not finalized his report on his findings. Once his report has been completed, it will be made available.

Thank you for bringing Council's concerns to my attention. If you have any additional questions or would like to discuss options going forward, you can reach out to Paul Colton, District Director at 902-863-8900 or at <a href="mailto:paul.colton@novascotia.ca">paul.colton@novascotia.ca</a> or Basil Pitts, Area Manager at 902-870-4746 or at <a href="mailto:paul.colton@novascotia.ca">paul.colton@novascotia.ca</a> or Basil Pitts, Area

Yours sincerely,

Kim D. Masland

Minister

Honourable Michelle Thompson, MLA Antigonish
 Paul Colton, District Director
 Basil Pitts, Area Manager, Antigonish/Guysborough



TO: MUNICIPAL COUNCIL

FROM: Bill MacFarlane

**SUBJECT: Asset Management Committee Report** 

DATE: November 14, 2023

The Asset Management Committee was convened on Tuesday, October 24, 2023. The following Councillors were present:

Acting Deputy Warden MacFarlane, Chair

Warden McCarron
Councillor MacDonald
Councillor MacLellan
Councillor Brophy
Councillor Deveau
Councillor Dunbar
Councillor Mattie
Councillor McNamara

No recommendations were made.

#### The following business was discussed:

The Committee received a presentation from local representatives from the Nova Scotia Department of Public Works regarding road construction projects and maintenance.



TO: MUNICIPAL COUNCIL

FROM: Glenn Horne, CAO

SUBJECT: COMMITTEE OF THE WHOLE REPORT

**DATE:** November 14, 2023

The Committee of the Whole was reconvened on Tuesday, October 24, 2023, following the regular meeting of Municipal Council. The following Councillors were present:

Warden McCarron
Councillor MacLellan
Councillor MacDonald
Councillor Brophy
Councillor Deveau
Councillor Dunbar
Councillor Mattie
Councillor McNamara
Councillor MacFarlane

#### The following recommendations were made:

The Committee recommends that Municipal Council send a letter to Minister Masland, MLAs Thompson and Morrow, and Warden Pitts regarding concern with the deferral of the construction of the roundabout at the intersection of Trunk 4 and Trunk 16 in Monastery, due to its priority to the community to address safety concerns.



# BY-LAW NUMBER #01-2023 AMENDING THE BY-LAW RESPECTING CHARGES FOR LOCAL IMPROVEMENTS

WHEREAS Section 81 of the *Municipal Government Act* provides that a Municipality may make bylaws imposing, fixing and providing methods of enforcing payment of charges for types of local improvements, and

NOW THEREFORE by the Council of the Municipality of the County of Antigonish enacts as follows:

1. That the By-law Respecting Charges for Local Improvements be further amended by adding the following to Schedule "A":

SCHEDULE "A"

Somers Road water main extension – 2017.

- a) The project will involve a 1.5 km extension of the existing water main to the end of Somers Road.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
  - 10016491; 10113082; 01209865; 10071348; 10105609; 01295419; 10008548; 01281401; 01209949; 01209964; 01281179; 01281195; 01281211; 10004844; 10009736; 01209907; 01209923; 10008001; 10124618; 01209956; 10035368; 01299098; 10071355; 01299726; 01209873; 10070928; 01209931; 10125193
- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property subsequently created fronting Somers Road in the area of the water main extension described herein is subject to the local improvement charge and terms of payment referenced in 1(c).
- e) Any property not listed in 1(b) seeking to connect to the water main extension described herein **via direct lateral or private line** is subject to the local improvement charge stated in 1(c) as well as the Building Service Connection fee stated in section 9(1) of this By-Law.
- f) The cost of the project shall be subject to an interest rate consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.

West River Cross Paving - 2019.

- a) The project will involve the paving West River Cross Road.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
  - 01211085; 10071637; 01211168; 01211093; 01211325; 01211077; 01210905; 01211432; 10103117; 01211101
- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.



- d) Any property subsequently created fronting West River Cross in the area of the paving described herein is subject to the local improvement charge and terms of payment referenced in 1(c).
- e) The cost of the project shall be subject to an interest rate consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.

#### Beech Hill Waterline Extension - 2019.

- a) The project will involve the extension of the municipal waterline on Beech Hill Road.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
  - 10058113; 10109015; 01249986
- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property subsequently created fronting Beech Hill in the area of the waterline extension described herein via direct lateral or private line is subject to the local improvement charge and terms of repayment referenced in 1(c).
- e) The cost of the project shall be subject to an interest rate consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.

#### Cameron Kinney Hill Waterline Extension - 2020

- a) The project will involve a 960-metre extension of the existing water main along Highway7.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
  - 10010833; 10032019; 10004653; 1212133; 1280932; 1298918; 1212158; 1294446; 1212141; 1212125; 10010841; 10011369; 1212182
- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property subsequently created fronting Highway 7 in the area of the water main extension described herein **via direct lateral or private line** is subject to the local improvement charge and terms of payment referenced in 1(c).
- e) Any property not listed in 1(b) seeking to connect to the water main extension described herein **via direct lateral or private line** is subject to the local improvement charge stated in 1(c) as well as the Building Service Connection fee stated in section 9(1) of this By-Law.
- f) The cost of the project shall be subject to an interest rate of consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.

(as amended by By-law #03-2020)



#### North Grant Waterline Extension – 2020

- a) The project will involve a 1.7 km extension of the existing water main along Highway 245.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
- c) 01297357; 01207802; 01207729; 01207794; 01207695; 10081099; 01207828; 01207810; 01207711; 10093292; 01207687; 01311752; 01207844; 01212521; 01207679; 01207661; 01207653; 01312289; 01207646; 01207604
- d) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- e) Any property subsequently created fronting Highway 245 in the area of the water main extension described herein **via direct lateral or private line** is subject to the local improvement charge and terms of payment referenced in 1(c).
- f) Any property not listed in 1(b) seeking to connect to the water main extension described herein **via direct lateral or private line** is subject to the local improvement charge stated in 1(c) as well as the Building Service Connection fee stated in section 9(1) of this By-Law.
- g) The cost of the project shall be subject to an interest rate consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.

(as amended by By-law #03-2020)

#### Somers Road Paving – 2020

- a) The project will involve the paving Somers Road.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:

```
01209873; 01209907; 01299726; 10113082; 10125193; 01209865; 10071348; 10004844; 01281179; 01281195; 01281211; 10071355; 10009736; 10070928; 10105609; 10008001; 10035368; 01295419; 01299098; 10008548; 01209923; 01281401; 01209931; 01209956; 01209949; 01209964; 10124618
```

- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property subsequently created fronting Somers Road in the area of the paving described herein is subject to the local improvement charge and terms of payment referenced in 1(c).
- e) The cost of the project shall be subject to an interest rate of **consistent with the County's** approved rate and based on the Local Improvement Charge payment schedule.

#### Willowdale Lane Paving - 2020

- a) The project will involve the paving Willowdale Lane.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:

10110542; 1248731; 1295492; 1248749; 1248723; 1248681; 1248699; 1248707



- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property subsequently created fronting Willowdale Lane in the area of the paving described herein is subject to the local improvement charge and terms of payment referenced in 1(c).
- e) The cost of the project shall be subject to an interest rate **consistent with the County's** approved rate and based on the Local Improvement Charge payment schedule.

(as amended by By-law #03-2020)

#### Highway 337 Waterline Extension – 2023

- a) The project will involve a 2km extension of waterline on Highway 337 in Lanark.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
  - 1234095; 10126738; 10078558; 1234079; 1234053; 1301977; 10074078; 10074060; 10117356; 1284041; 10056000; 1234103; 10114205; 10127199; 1302173; 10059822; 1234111; 10121218; 10005338; 1234137; 1301993.
- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property not listed in 1(b) seeking to connect to the water main extension described herein via direct lateral or private line is subject to the local improvement charge stated in 1(c) as well as the Building Service Connection fee stated in section 9(1) of this By-Law.
- e) The cost of the project shall be subject to an interest rate of consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.

#### St. Josephs Waterline Extension – 2023

- a) The project will involve a 3.2km extension of waterline on the Ohio East Road and Addington Forks Road.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
  - 10071397; 10097012; 01238872; 01238864; 01238856; 10126761; 01288042; 01238823; 01265040; 01238773; 01238781; 01266212; 01238732; 10097194; 01238740; 01304526; 01304534; 01304542; 01304567; 01238716; 10070381; 01314863; 01238724; 01238831; 01238849; 01304559; 10010874; 10010882; 10012409; 10017002; 10099257; 10070399; 10019719; 01283795; 01238799
- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property not listed in 1(b) seeking to connect to the water main extension described herein via direct lateral or private line is subject to the local improvement charge stated in 1(c) as well as the Building Service Connection fee stated in section 9(1) of this By-Law.



e) The cost of the project shall be subject to an interest rate of consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.

READ a first time this Tenth day of October, 2023
READ a second time and passed this day of, 2023
Warden
warden
CAO



TOPIC: Municipal Local Improvements Fees Policy

POLICY NUMBER: 46

DATE APPROVED: November 23, 2020 (#2020-152)

**DATE REVISED:** 

#### 1. TITLE

1.1 This Policy may be cited as the "Local Improvements Fee Policy"

#### 2. PURPOSE AND OBJECTIVES

- 2.1. This policy related to the By-Law Respecting Charges for Local Improvements and identified the specific charges and associated repayment terms for a local improvement as approved from time to time by Municipal Council
- 2.2. Additional descriptions and terms for each project listed can be found in Appendix "A" of the By-law Respecting Charges for Local Improvements.
- 2.3. This Policy shall be updated to reflect new projects, charges and terms as well as amendments to existing terms.

#### 3. LOCAL IMPROVEMENT RATES AND TERMS BY PROJECT

- 3.1. Somers Road Waterline Extension 2017
  - 3.1.1. The local improvement charge is a flat rate of \$2,474.70 per property.
  - 3.1.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of ten years.
- 3.2. West River Cross Paving 2019
  - 3.2.1. The local improvement charge is a flat rate of \$2,200.00 per property.
  - 3.2.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of five years.
- 3.3. Beech Hill Waterline Extension 2019
  - 3.3.1. The local improvement charge is a flat rate of \$2,092.20 per property.
  - 3.3.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of ten (10) years.
- 3.4. Cameron Kinney Hill Waterline Extension 2020
  - 3.4.1. The local improvement charge is estimated to be a flat rate of \$2612.00 per property.
  - 3.4.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of ten (10) years.



- 3.5. North Grant Waterline Extension 2020
  - 3.5.1. The local improvement charge is estimated to be a flat rate of \$4310.00 per property.
  - 3.5.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of ten (10) years.
- 3.6. Somers Road Paving 2020
  - 3.6.1. The local improvement charge is estimated to be a flat rate of \$2781.00 per property.
  - 3.6.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of five (5) years.
- 3.7. Willowdale Lane Paving 2020
  - 3.7.1. The local improvement charge is estimated to be a flat rate of \$2972.00 per property.
  - 3.7.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of five (5) years.
- 3.8. Highway 337 Waterline Extension 2023
  - 3.8.1. The local improvement charge is estimated to be a flat rate of \$4,370.00 per property.
  - 3.8.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of ten (10) years.
- 3.9. St. Josephs Waterline Extension 2023
  - 3.9.1. The local improvement charge is estimated to be a flat rate of \$4,000.00 per property.
  - 3.9.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of ten (10) years.

POLICY #46
MUNICIPAL LOCAL IMPROVEMENTS FEES POLICY