

MUNICIPALITY OF THE COUNTY OF
ANTIGONISH
COUNCIL MEETING AGENDA

Tuesday, November 14, 2023, 7:30pm

Council Chambers
Municipal Administration Building
285 Beech Hill Road
Beech Hill, NS B2G 0B4

1. Call to Order – Chair Owen McCarron
2. Approval of Agenda
3. Approval of October 10, 2023 Municipal Council Minutes
4. Business Arising from the Minutes
5. Delegations
 - a. Antigonish Affordable Housing – Appleseed Second Phase Development
6. Correspondence
 - a. Letter to NSFM Regarding Urgent Need to Improve Rural Cell Phone Coverage for Emergency Preparedness.
 - b. Response from the Minister of Public Works Regarding Speed Study and Pedestrian Counts on Highway 337 at Mount Cameron
7. Committee Reports
 - a. October 24, 2023 Asset Management Committee Report
 - b. October 24, 2023 Committee of the Whole Report
 - c. November 14, 2023 Committee of the Whole Report
8. Reports from Individual Council Members on Outside Boards, Conferences, and Community Activities
9. Motions
 - a. Second Reading – Amendments to the Local Improvements By-law
 - i. *That Municipal Council receive the proposed amendments to a By-law Respecting Local Improvements for Second Reading, and that Municipal Council approve the proposed amendments to Municipal Local Improvements Fees Policy.*
10. Miscellaneous Business
11. Adjournment

MUNICIPALITY OF THE COUNTY OF ANTIGONISH

Municipal Council Meeting- Minutes

**Tuesday, October 10, 2023
Immediately Following the Committee of the Whole
Council Chambers
Municipal Administration Building
285 Beech Hill Road
Beech Hill, NS B2G 0B4**

Councillors Present:

Warden Owen McCarron

Acting Deputy Warden Bill MacFarlane

Councillor Mary MacLellan

Councillor Donnie MacDonald

Councillor Remi Deveau (by Zoom)

Councillor John Dunbar

Councillor Gary Mattie (by Zoom)

Councillor Harris McNamara

Regrets:

Deputy Warden Hugh Stewart

Councillor Shawn Brophy

Staff Present:

Glenn Horne, CAO

Sean Donovan, Manager of Inspection
Services, EDPC

Beth Schumacher, Deputy Clerk

Also Present:

Gallery

Drake Lowthers, The Reporter

Matt Draper, XFM (by Zoom)

Call to Order- Chairman, Warden Owen McCarron

Warden McCarron called the meeting to order at 7:30pm.

Approval of Agenda

Warden McCarron called for any additions or deletions to the agenda.

Min # 2023-1116

Moved and Seconded

That the agenda be approved as presented.

Motion Carried

Approval of September 26, 2023 Municipal Council Minutes

Warden McCarron called for any errors or omissions in the minutes included in the agenda package.

Min # 2023-117

Moved and Seconded

That the Municipal Council Minutes of September 26, 2023 be approved.

Motion Carried

Business Arising from the Minutes

Warden McCarron welcomed Acting Deputy Warden Bill MacFarlane to the role, following the appointment made by Council at the special meeting held on September 26, 2023.

Public Hearings

Dangerous and Unsightly – Property of LNB inc. Fairmont Road, Antigonish Harbour

Mr. Donovan provided an overview of the property in question, with photographs of the buildings and debris in question. Mr. Donovan noted that he has been in contact with the property owner, who has had a contractor on site earlier this week. Work is expected to be completed shortly, but Mr. Donovan suggested to continue with the 30-day demolition order should the arrangements with that contractor fall through.

Min # 2023-118

Moved and Seconded

That Municipal Council issue a 30-day demolition order to the property owner of PID 10130755, that the property owner should demolish the structures on the property, clean up the property of debris and derelict vehicles, and leave the site safe and clean.

Motion Carried

Correspondence

Warden McCarron noted that he received a response from Senator Prosper, thanking him for the letter of congratulations sent by the Municipality following his appointment.

Committee Reports

October 5, 2023 Joint Police Advisory Board Report

No recommendations were put forward.

October 10, 2023 Committee of the Whole Report

No recommendations were put forward.

Reports from individual Council Members on Outside Boards, Conferences, and Community Activities

- Councillor Dunbar shared that the Antigonish Arena Board meets on Wednesday October 11th, that the Heritage Board AGM will take place on Monday October 16th, and that a pub night was held at the Heatherton Community Centre on Friday Oct 6th.
- Deputy Warden MacFarlane noted that the EDPC Board Meeting that was scheduled for September will be rescheduled.
- Councillor MacDonald provided an update from the ERSWM meeting, noting that the new compliance vehicle is expected in December, the board has applied for a grant from the Carton Council of Canada, and that the 2024-2025 budget planning is underway.
- Councillor MacLellan noted that the library meeting will be held on October 19th in New Glasgow.
- Councillor Mattie shared that he and Mr. Horne attended the Chamber of Commerce meeting about accessibility. He also attended the Provincial Department of Public Works meeting regarding the twinning of Highway 104 from Taylor's Road to Paqtnkek, held in Heatherton on September 27th.
- Councillor Deveau shared that he was currently attending the Recreation Nova Scotia conference in Digby.
- Warden McCarron had a Physician Navigator meeting with the new coordinator.

Motions

There were no additional motions.

Additions to the Agenda

There were no additions to the agenda.

Miscellaneous Business

Deputy Warden MacFarlane welcomed former Councillor Leonard McCarron and his granddaughter Madeline McCarron, who was in attendance to observe a Council meeting as part of her studies.

Adjournment

Min # 2023-119

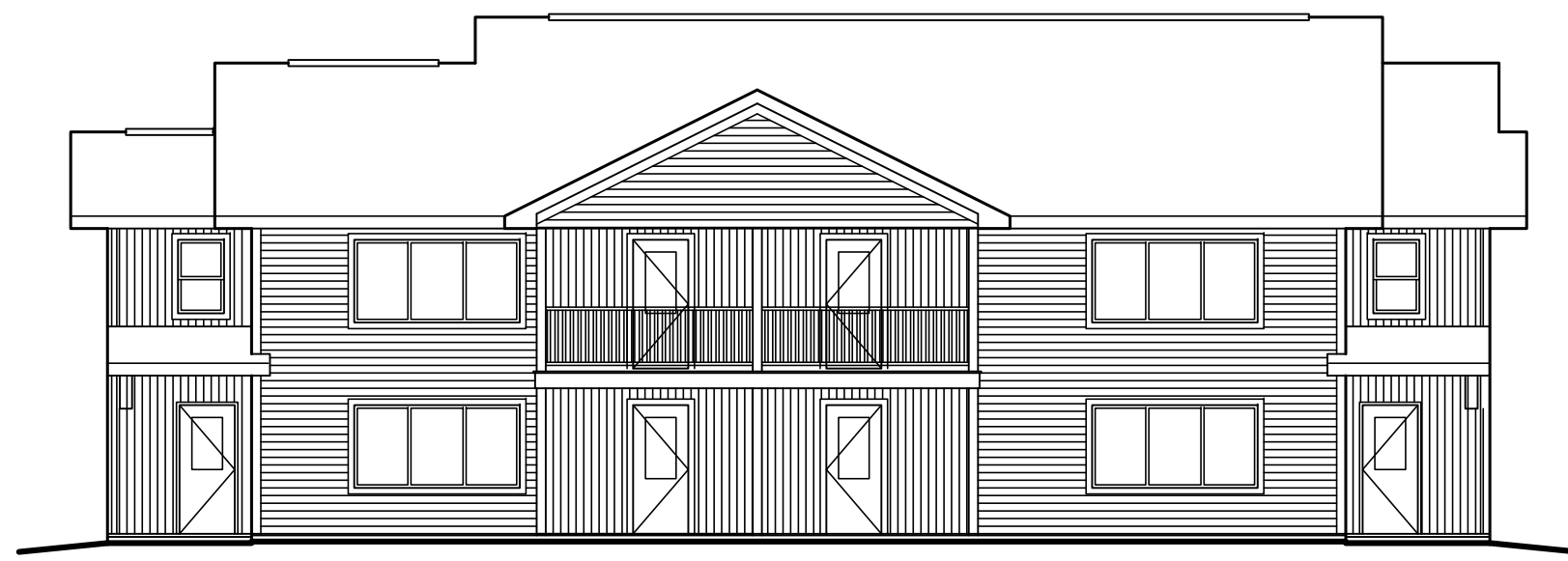
Moved

That the Council meeting adjourns at 7:51pm.

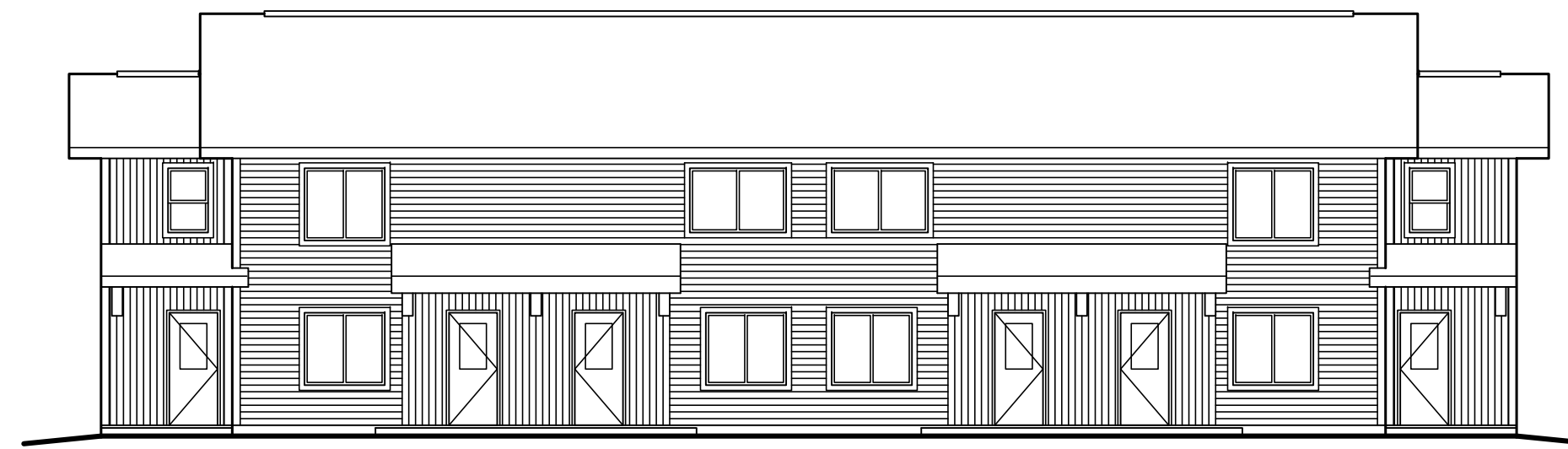
Motion Carried

Warden Owen McCarron

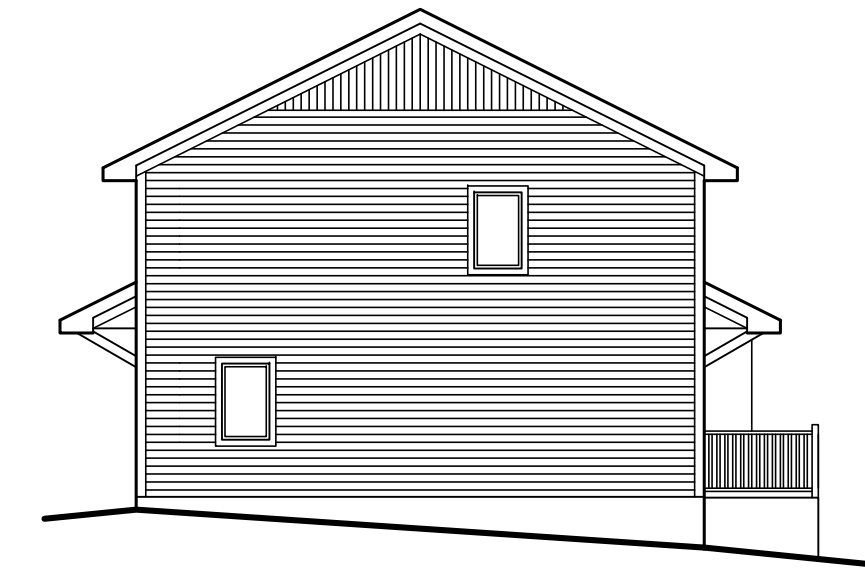
Glenn Horne, CAO



BUILDING C



BUILDING B



BUILDING A

1
A0 APPLESEED DRIVE ELEVATIONS
SCALE: NT\$

ANTIGONISH AFFORDABLE HOUSING

APPLESEED DRIVE PHASE 2

ANTIGONISH, NOVA SCOTIA

1	ISSUED FOR REVIEW	SEPT 21/23
No.	REVISION	DATE

archibald & fraser
architects ltd.
P.O. BOX 188 ANTIGONISH, NS B9G 2L7 863-0766

PROJECT
ANTIGONISH AFFORDABLE
HOUSING SOCIETY
PHASE 2

APPLESEED DRIVE
ANTIGONISH, NOVA SCOTIA

DRAWING
COVER SHEET
& NOTES

SCALE
NT\$
DATE
SEP 2022

DRAWN
CLC
REVIEWED

SEAL

PROJECT No.

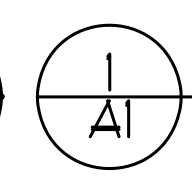
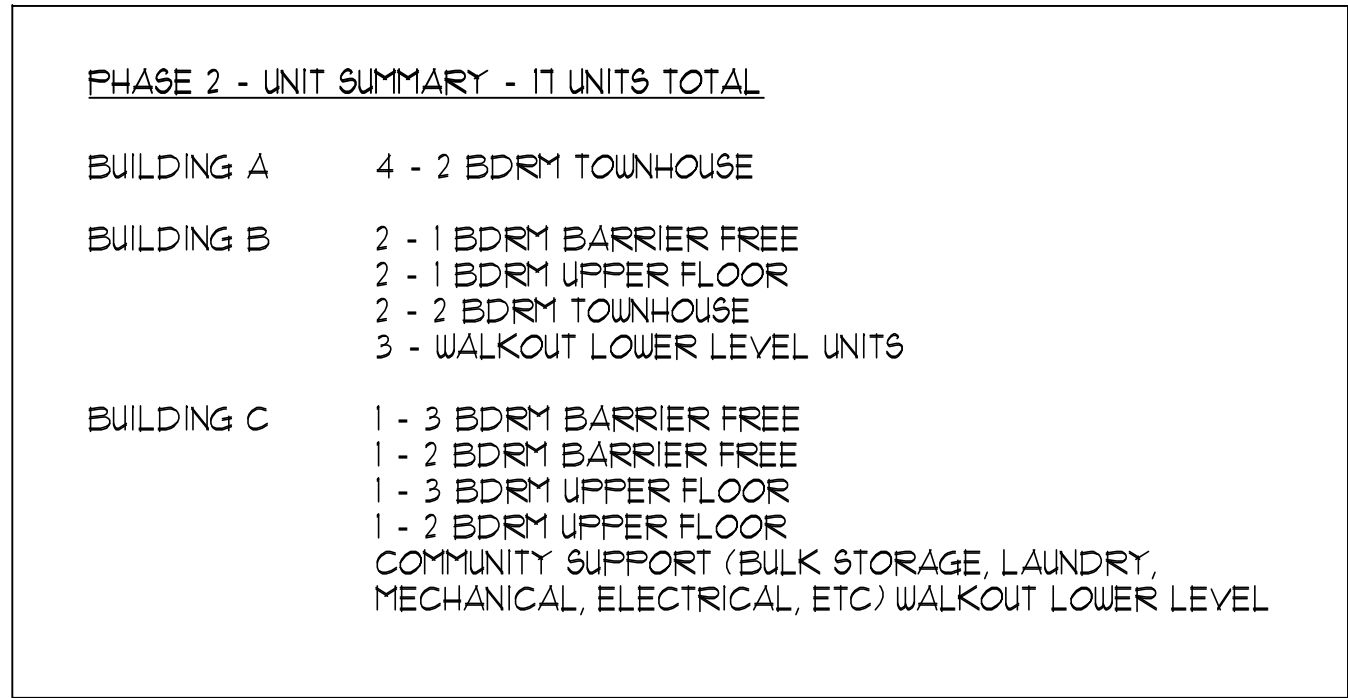
918

DOCUMENT No.

DRAWING NO.

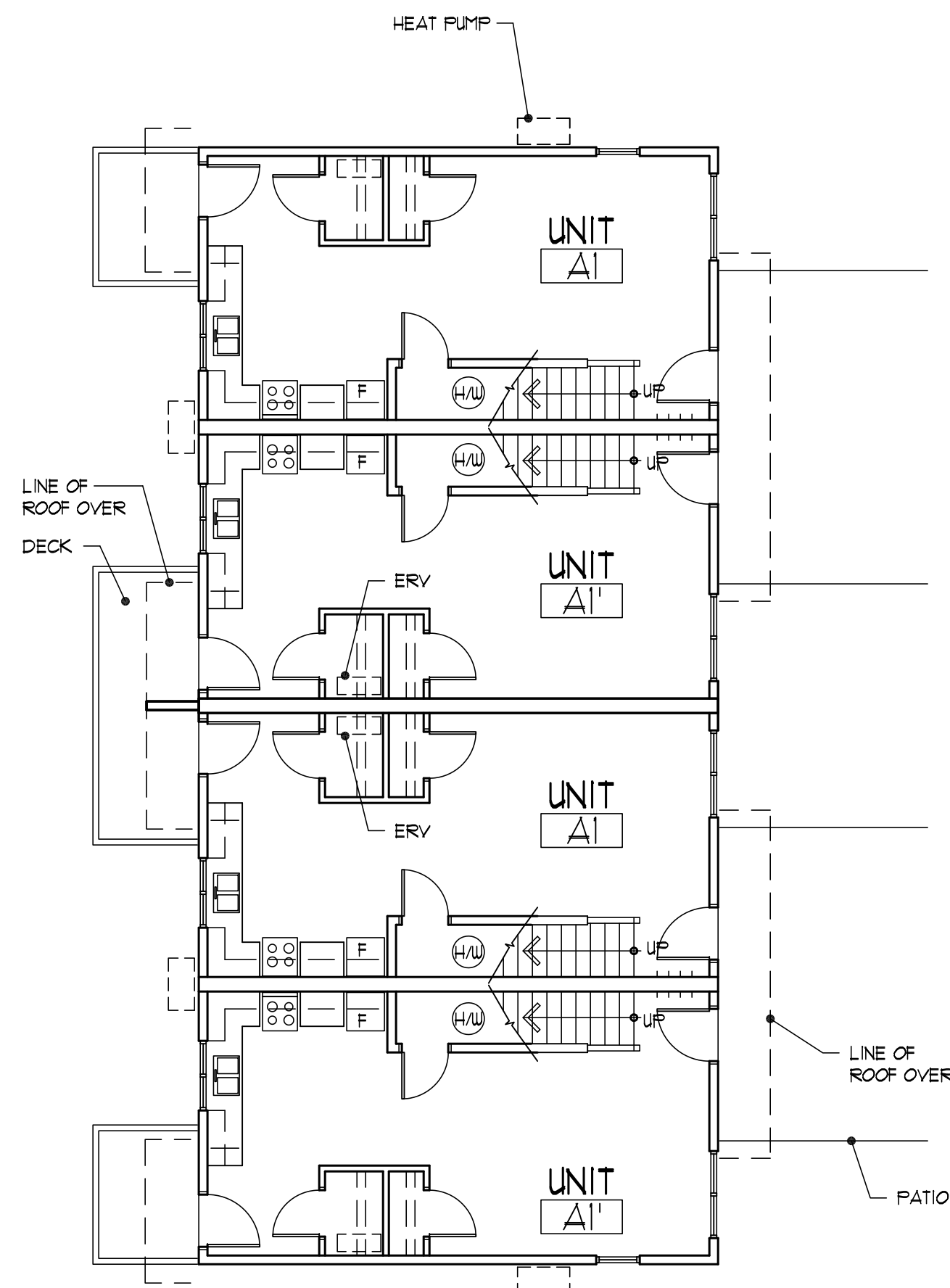
A0

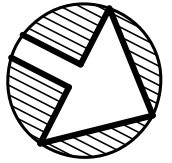
CONTOUR ELEVATIONS SHOWN IN METRES

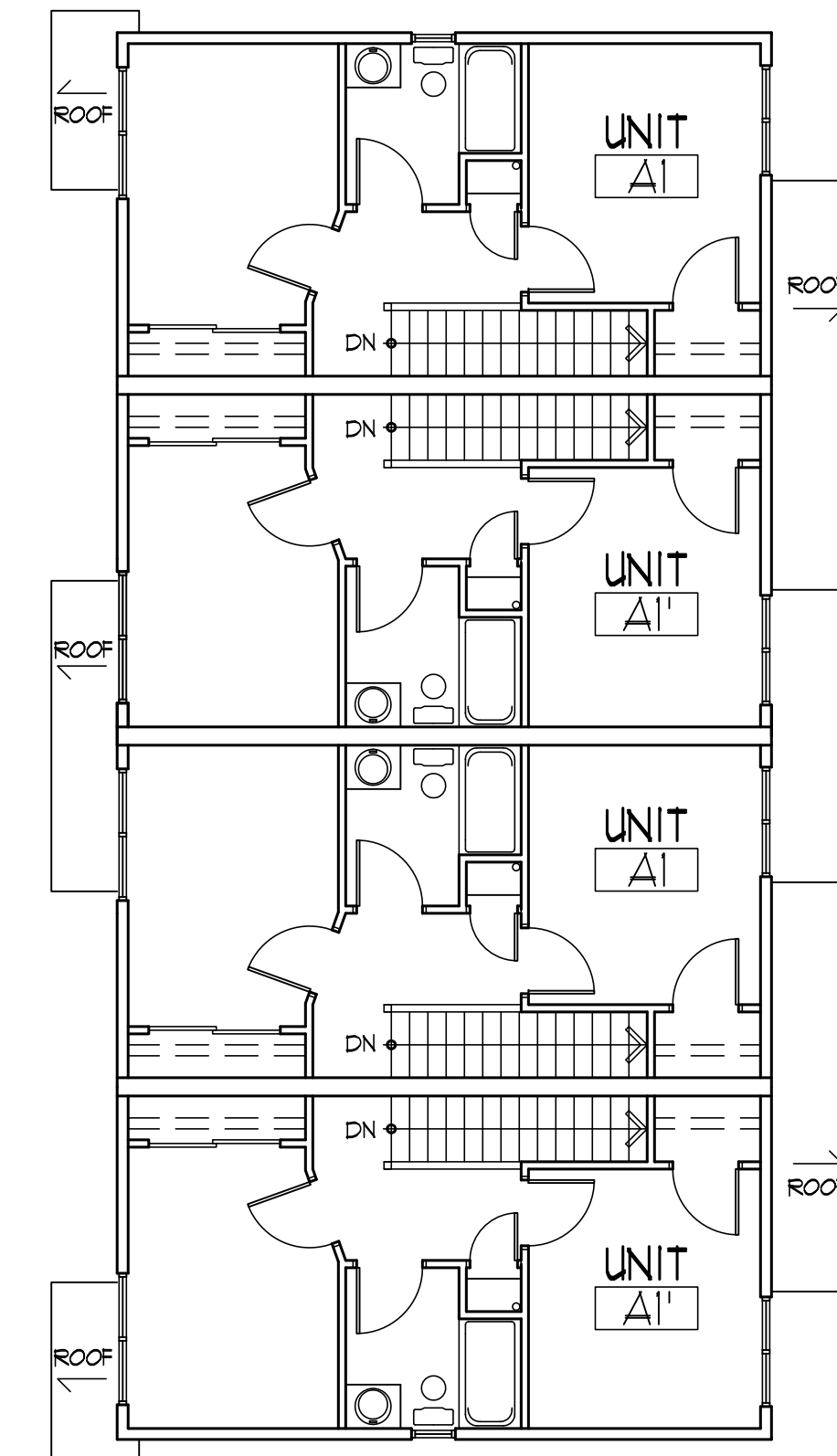


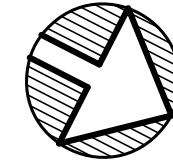
SITE PLAN
SCALE: 1"=20'-0"

PROJECT No.	DRAWING NO.
918	A1
DOCUMENT No.	



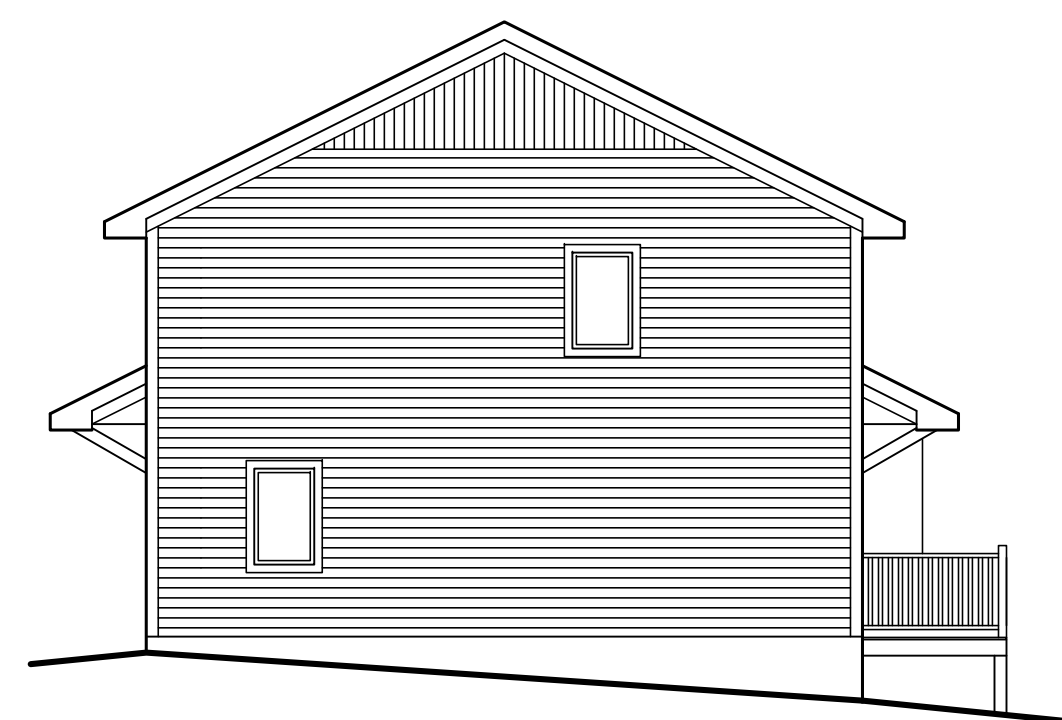
 **BUILDING A**
1 **A2** **MAIN FLOOR PLAN**
 SCALE: 1/8" = 1'-0"



 **BUILDING A**
2 **A2** **UPPER FLOOR PLAN**
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION



**WEST (APPLESEED DRIVE)
ELEVATION**

BUILDING A
3 **A2** **EXTERIOR ELEVATIONS**
 SCALE: 1/8" = 1'-0"

1	ISSUED FOR REVIEW	SEPT 27/23
No.	REVISION	DATE

archibald & fraser
architects ltd.
 P.O. BOX 1355 ANTIGONISH, NS B0G 2L7 863-0966

PROJECT
ANTIGONISH AFFORDABLE
HOUSING SOCIETY
PHASE 2

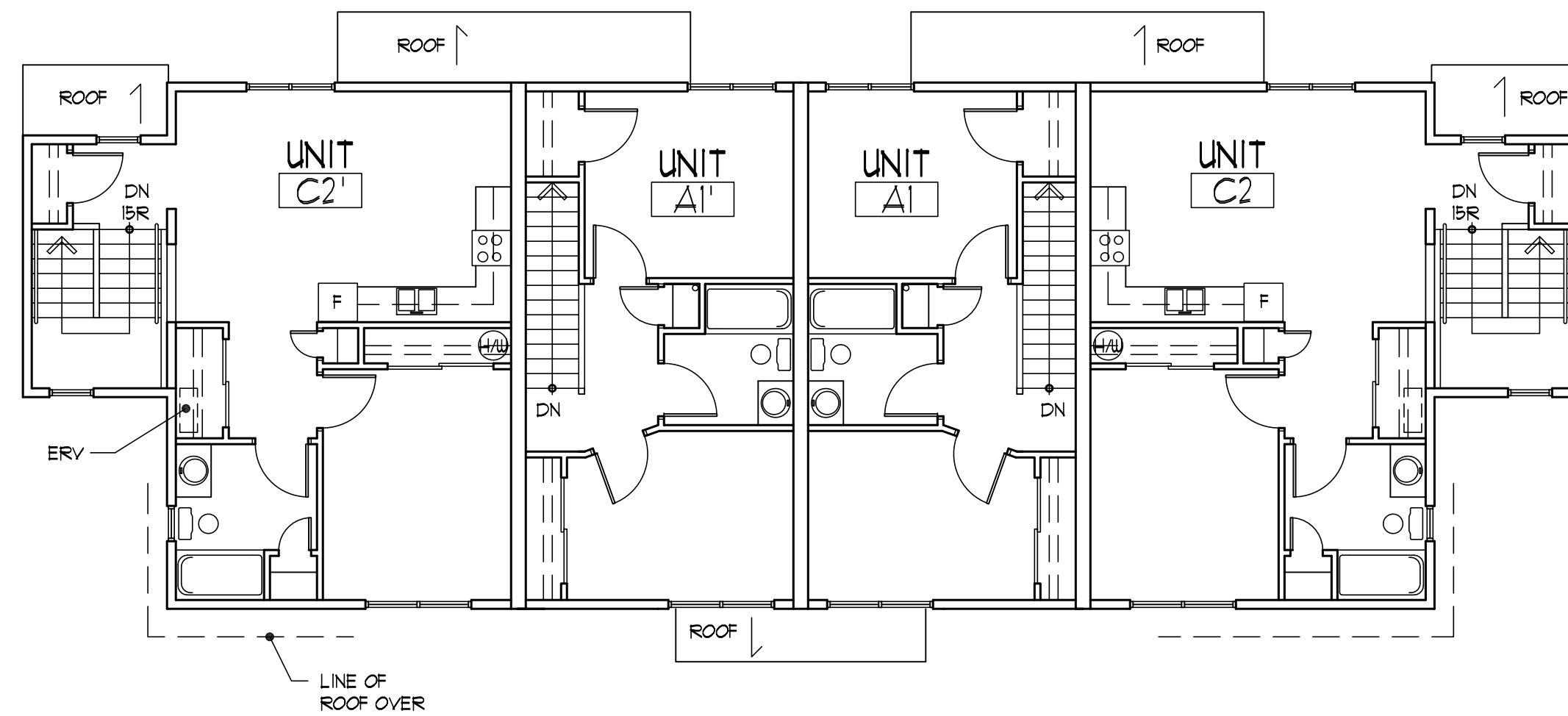
APPLESEED DRIVE
ANTIGONISH, NOVA SCOTIA

DRAWING
BUILDING A
PLANS &
ELEVATIONS

SCALE AS NOTED	DATE SEP 2022
DRAWN CLC	REVIEWED

SEAL

PROJECT No. 918	DRAWING No. A2
DOCUMENT No.	

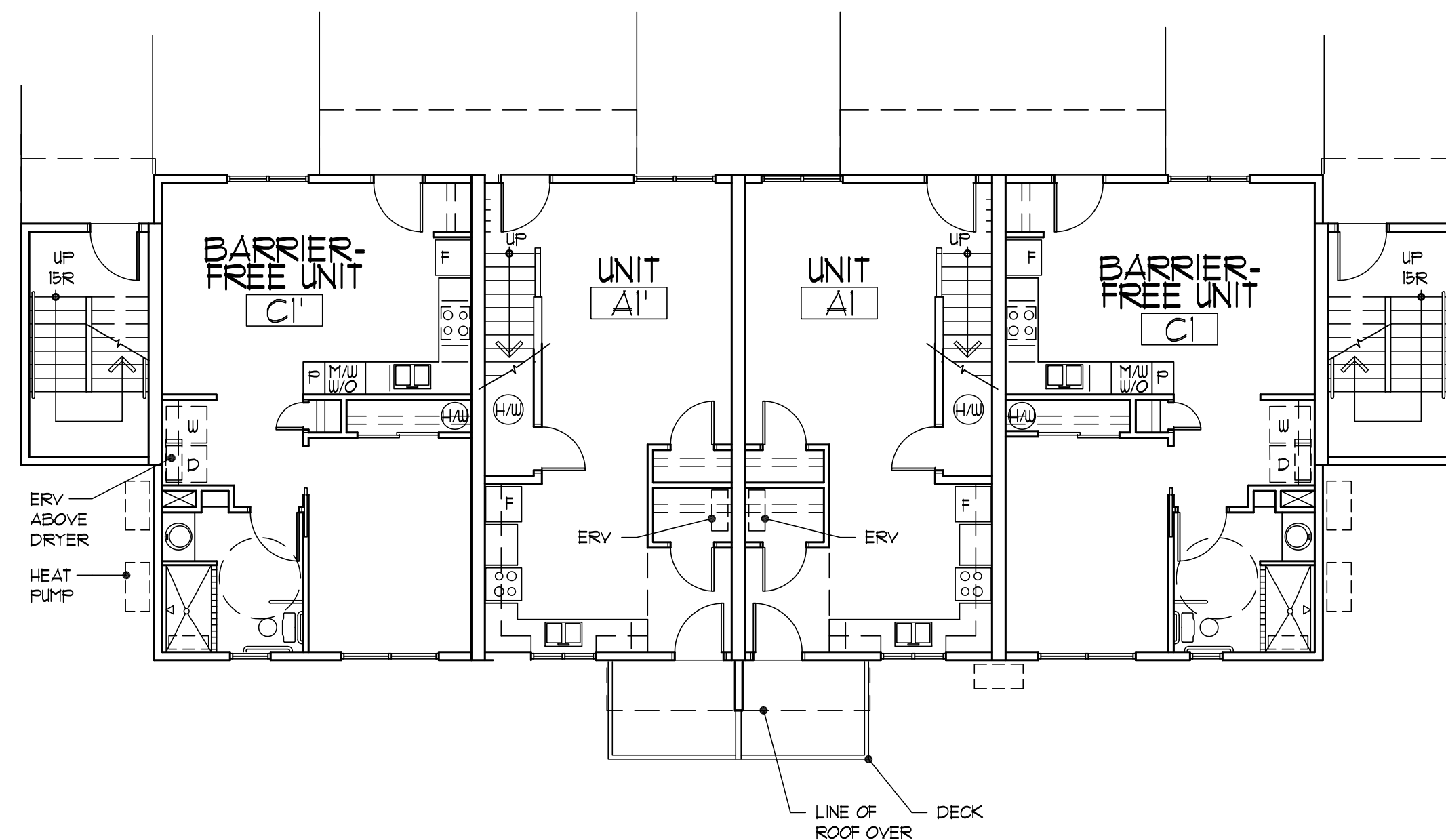


BUILDING B
UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 NORTH

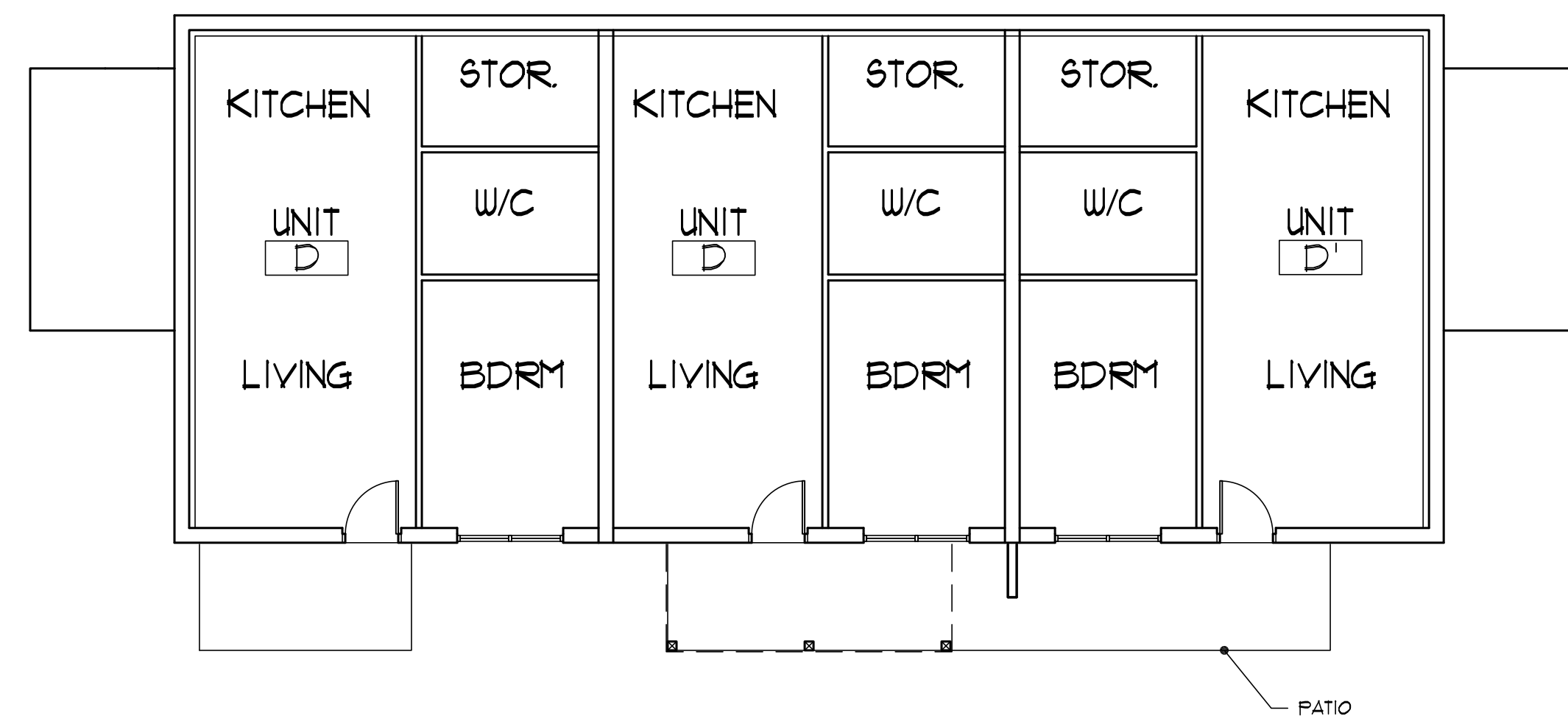


WEST (APPLESEED DRIVE) ELEVATION

BUILDING B
EXTERIOR ELEVATIONS
 SCALE: 1/8" = 1'-0"



BUILDING B
MAIN FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 NORTH



BUILDING B
LOWER FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 NORTH

1	ISSUED FOR REVIEW	SEPT 21/23
No.	REVISION	DATE

archibald & fraser
 architects ltd.
 P.O. BOX 188 ANTIGONISH, NS B9G 2L7 863-8766

PROJECT
 ANTIGONISH AFFORDABLE
 HOUSING SOCIETY
 PHASE 2

APPLESEED DRIVE
 ANTIGONISH, NOVA SCOTIA

DRAWING
BUILDING B
PLANS &
ELEVATIONS

SCALE
 A9 NOTED

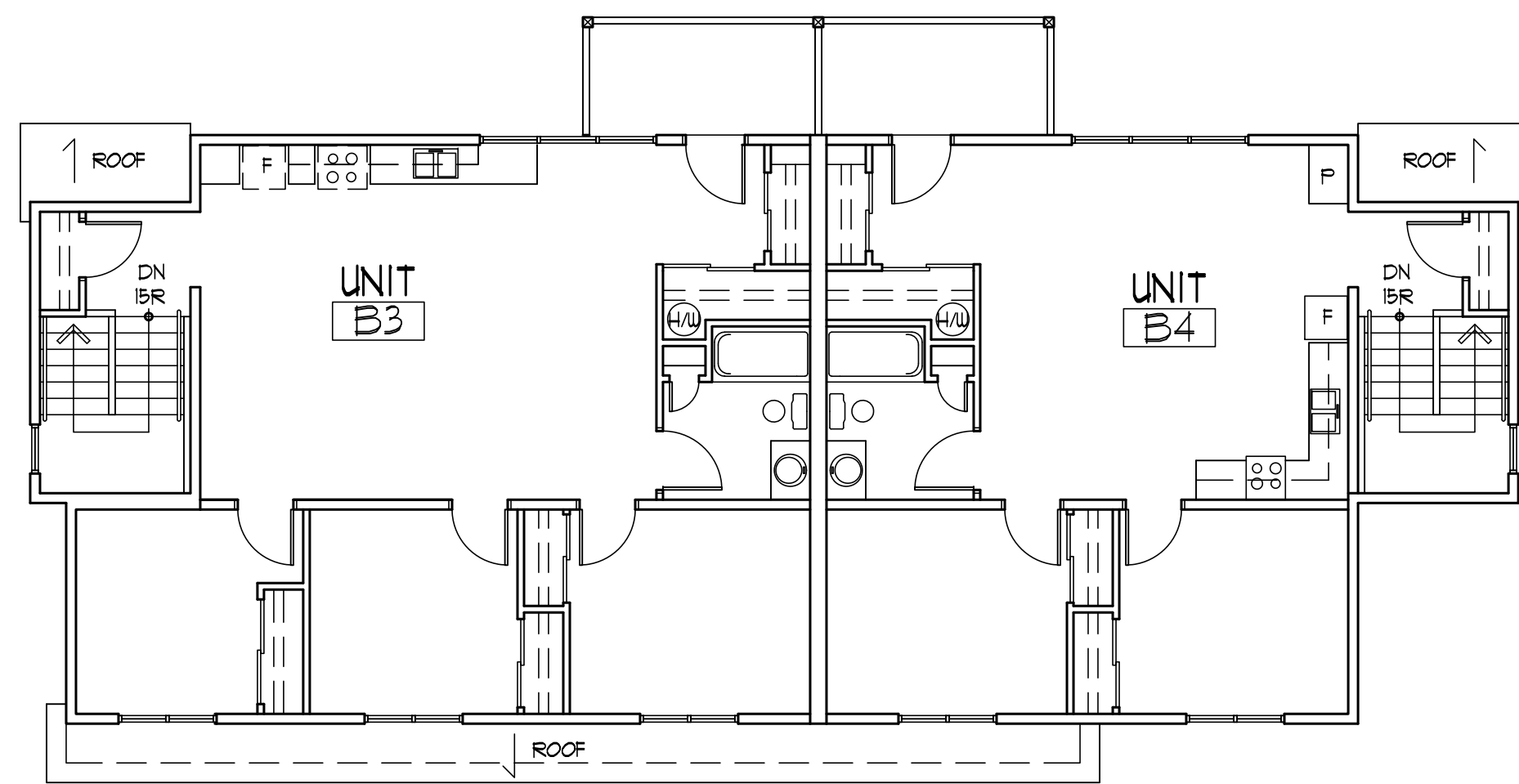
DATE
 SEP 2022

DRAWN
 CLC

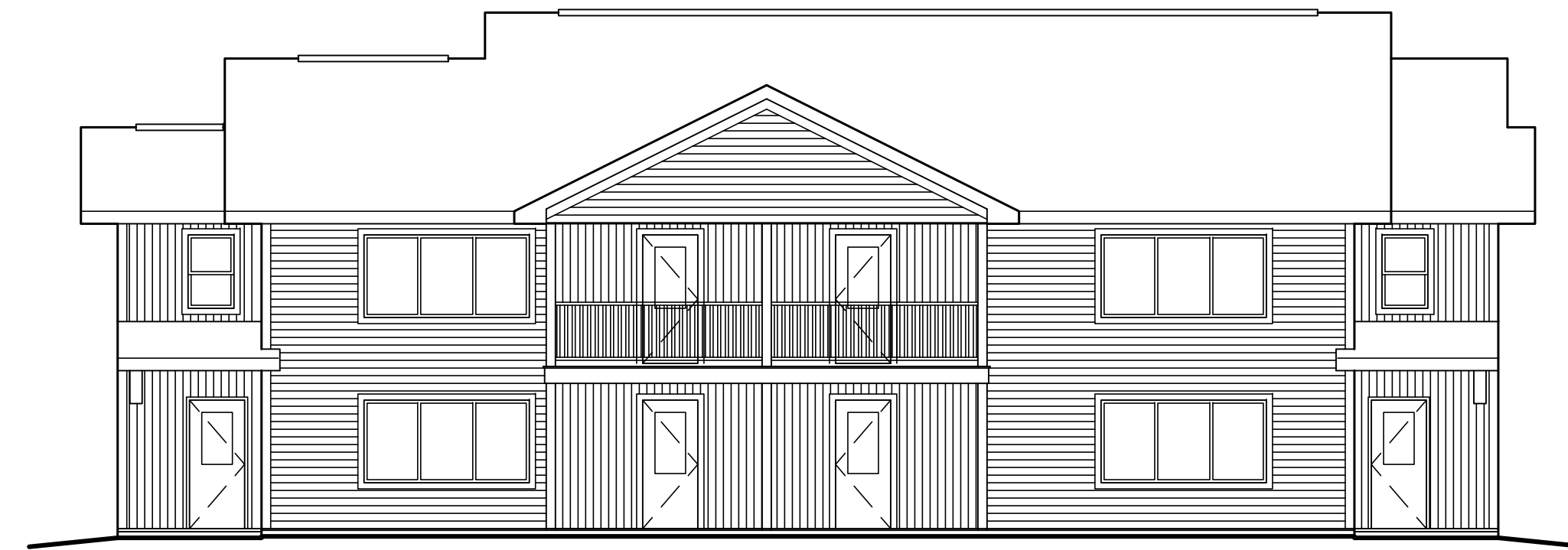
REVIEWED

SEAL

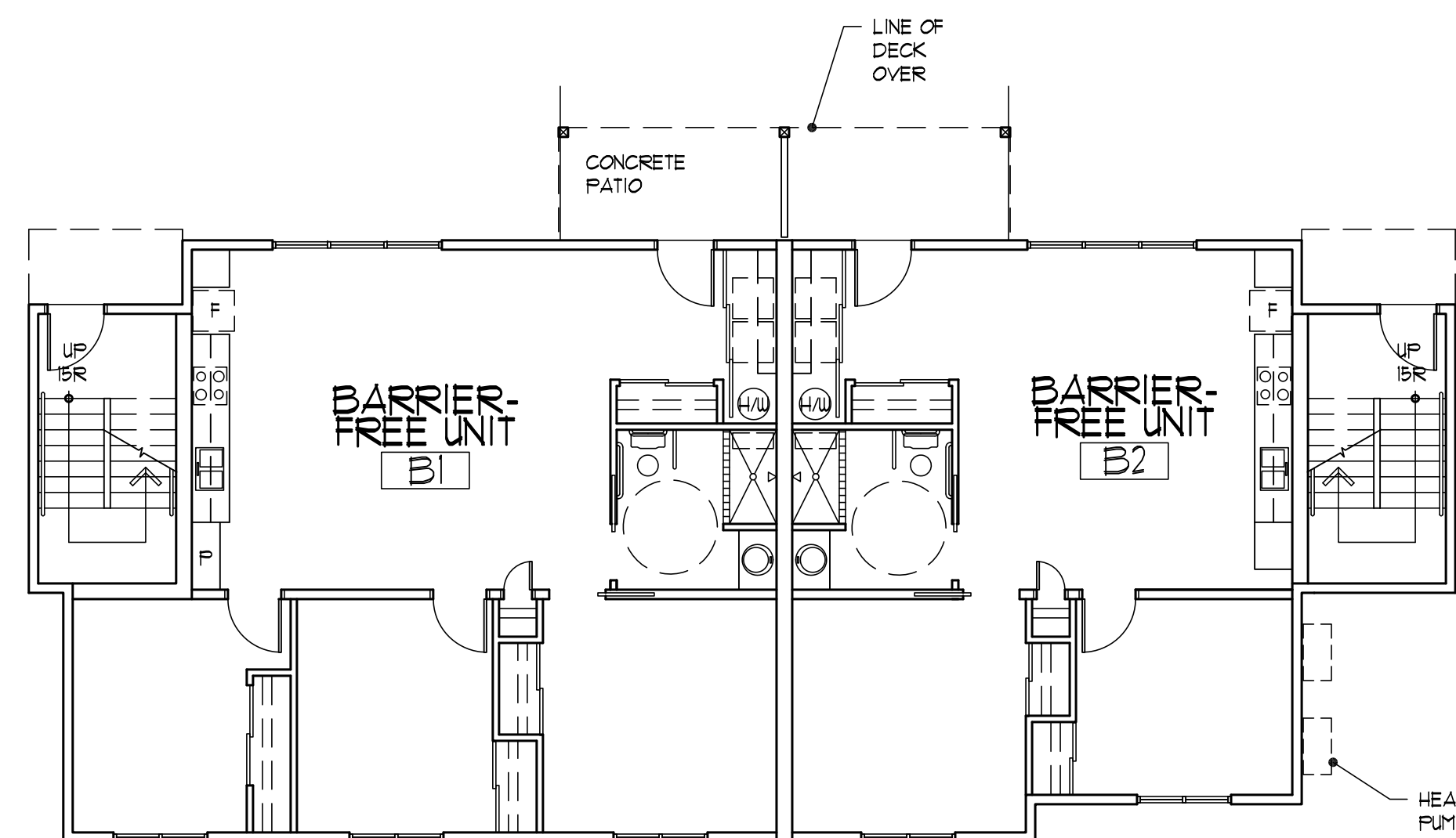
PROJECT No.	DRAWING No.
918	A3
DOCUMENT No.	



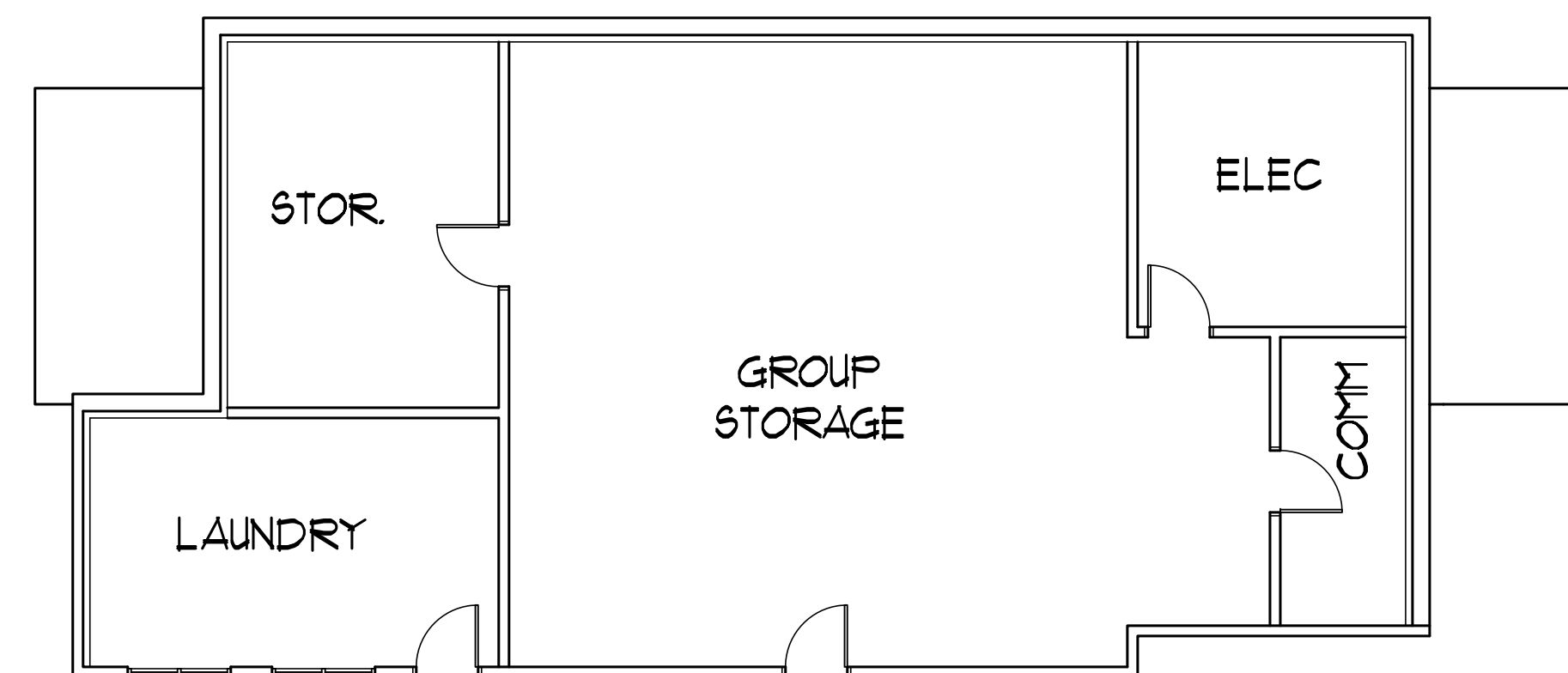
BUILDING C
1
A4 UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING C
3
A4 EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"



BUILDING C
2
A4 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING C
4
A4 LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"

1	ISSUED FOR REVIEW	SEPT 21/23
No.	REVISION	DATE

archibald & fraser
architects ltd.
P.O. BOX 188 ANTIGONISH, NS B9G 2L7 863-0766

PROJECT
ANTIGONISH AFFORDABLE
HOUSING SOCIETY
PHASE 2
APPLESEED DRIVE
ANTIGONISH, NOVA SCOTIA

DRAWING
BUILDING C
PLANS &
ELEVATIONS

SCALE AS NOTED	DATE SEP 2022
DRAWN CLC	REVIEWED

SEAL

PROJECT No. 918	DRAWING No. A4
DOCUMENT No.	

SCHEDULE A
Antigonish Affordable Housing Society
Applesseed Drive, Antigonish County - 10079572 - 17 Units

Capital Cost Estimates

Land	142,000	
Soil Test	10,000	
Survey	0	
Title/Recording	0	
Appraisal	2,500	
Demolition	0	
Site	0	
TOTAL LAND COST	154,500	
Consultants	130,000	
Energy Audit	10,000	
Development Charges	0	
Legal Fees	0	
Construction Contract	3,519,965	
Net Zero	225,000	
Construction Management	18,000	
Appliances	75,000	
Laundry Equipment	0	
Construction Interest	16,500	
Utilities Fees	5,000	
Insurance during Construction	9,000	
Municipal Fees	0	
Taxes during Construction	3,000	
Landscaping	15,000	
Surface Parking/Paving	0 incl in const contract	
Contingency	175,000	
HST Paid	593,245	
Less HST Rebate	-423,735	
Net HST Paid	169,510	
TOTAL BUILDING COST	4,370,975	
TOTAL DEVELOPMENT COST	4,525,475	

Average Unit Cost	266,204		
AHP Capital Contribution	0	1,457,201	32%
Equity Contribution	0	226,274	5%
Financing	0	1,400,000	31%
Third Party Contribution - Efficiency	0	0	
CHMC - NHCF Contribution	0	425,000 Basic	9%
CHMC - NHCF Contribution		425,000 Premium Afforc	9%
CHMC - NHCF Contribution		425,000 Premium Energ	9%
SEED Funds - Green		25,000	1%
Land	0	142,000	3%
TOTAL DEVELOPMENT COST	0	4,525,475	100%

Pro Forma Operating Budget

	Year 1	Year 2	Year 3	Year 4	Year 5
Revenue					
Gross rent potential ¹	\$181,686	\$185,320	\$189,026	\$192,807	\$196,663
Town and County Invested	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000
Less Vacancy Allowance ²	\$1,817	\$1,853	\$1,890	\$1,928	\$1,967
Total Operating Income	\$191,869	\$195,467	\$199,136	\$202,879	\$206,696
Estimated Annual Expenses					
Taxes & Sewer	\$25,500	\$26,138	\$26,791	\$27,461	\$28,147
Utilities	\$13,000	\$13,325	\$13,658	\$14,000	\$14,350
Insurance	\$17,500	\$17,938	\$18,386	\$18,846	\$19,317
Water	\$3,500	\$3,588	\$3,677	\$3,769	\$3,863
Snow removal, Garbage & Landscaping	\$22,000	\$22,550	\$23,114	\$23,692	\$24,284
Maintenance & Repairs	\$5,500	\$5,638	\$5,778	\$5,923	\$6,071
Service contracts	\$0	\$0	\$0	\$0	\$0
Property Management Fees	\$9,084	\$9,311	\$9,544	\$9,783	\$10,027
Salaries & Benefits	\$0	\$0	\$0	\$0	\$0
Professional Fees	\$0	\$0	\$0	\$0	\$0
Replacement Reserve	\$7,267	\$7,449	\$7,635	\$7,826	\$8,022
General & Administration	\$270	\$277	\$284	\$291	\$298
Other	\$0	\$0	\$0	\$0	\$0
Sub-Total Expenses	\$103,622	\$106,212	\$108,868	\$111,589	\$114,379
Net Cash Flow Income	\$88,247	\$89,254	\$90,268	\$91,289	\$92,317
Debt Service ³	\$89,284	\$89,284	\$89,284	\$89,284	\$89,284
Total Expenses	\$192,906	\$195,496	\$198,152	\$200,873	\$203,663
Net Operating Income	(\$1,037)	(\$30)	\$984	\$2,005	\$3,033

¹ Base Year: 8 two-bdrm units @ \$971.25/mth; 2 three-bdrm units @ \$1162.50/mth; Rent increase in Year 2

¹ Base Year: 5 one-bdrm units @ \$724.50/mth; 2 two-bdrm units @ \$906.50/mth; Rent increase in Year 2

³ Based on \$1,400,000 @ 4.1% amortized over 25 years; \$7440.37 monthly payment

Annually \$ 89,284

	<u>MMR - NS</u>	<u>Affordable Rent 75%</u>	<u>Units</u>	<u>Rents</u>
1 bedroom	\$ 1,035.00	\$ 776.25	2	\$ 1,552.50
2 bedroom	\$ 1,295.00	\$ 971.25	6	\$ 5,827.50
3 bedroom	\$ 1,550.00	\$ 1,162.50	2	\$ 2,325.00
		<u>Affordable Rent 70%</u>		
1 bedroom	\$ 1,035.00	\$ 724.50	5	\$ 3,622.50
2 bedroom	\$ 1,295.00	\$ 906.50	2	\$ 1,813.00
				<u>\$ 15,140.50</u>
70% of MMR		41%		\$ 181,686.00
				Monthly
				Annually

We will be requesting financial support from the Town and County of Antigonish. It is expected we will receive \$150,000 from each municipal government. This will be provided over a five year period.
Our equity contribution includes \$100,000 for the Town and County and \$100,000 for the Sisters of St Martha.



October 11, 2023

Nova Scotia Federation of Municipalities
Suite 1304, 1809 Barrington Street
Halifax, NS B3J 3K8

Attention: Mayor Brenda Chisholm-Beaton, President, Nova Scotia Federation of Municipalities (NSFM)
Email: bchisholmbeaton@townofph.ca

Subject: Urgent Need for Advocacy to Improve Rural Cell Phone Coverage for Emergency Preparedness

Dear Mayor Chisholm-Beaton,

I am writing to you with an urgent and critical concern that necessitates immediate action; the lack of reliable cell phone coverage in rural parts of Nova Scotia. Recent events, such as wildfires, floods, and hurricanes, have emphasized the imperative need for robust communication networks in these areas.

While natural disasters have always posed a risk, the increasing frequency and severity of these events make it even more essential for our rural communities to have dependable cell phone coverage. In times of emergencies, many residents do not receive timely alerts or information due to the inadequate or non-existent cell phone signal, endangering lives, and properties. Communication is a vital lifeline that can make all the difference in these perilous situations.

The recent initiative in Toronto, where all subway riders will have cellphone service from October 3rd, underscores the vital importance of connectivity for public safety and economic prosperity. Spearheaded by the Federal Minister of Innovation, Science and Industry, François-Philippe Champagne, this move responds to concerns over restricted connectivity, ensuring that riders can promptly access emergency services and maintain consistent communication for both personal and business needs. If such measures can be executed in urban centers like Toronto, it becomes imperative for the government to address similar concerns in rural communities, such as the Municipality of Shelburne. In emergencies like the recent fires, several residents couldn't receive crucial evacuation alerts due to absent cell coverage. Just as Toronto's subway riders are safe guarded with mandated service provisions, residents of rural communities deserve the same commitment to their safety and well-being.

Warren MacLeod, CAO
Warren.MacLeod@municipalityofshelburne.ca

www.municipalityofshelburne.ca

Penny Smith, Warden
warden@municipalityofshelburne.ca

As you are aware, reliable cell phone coverage is not merely a matter of convenience but a critical infrastructure need that impacts the well-being and safety of our residents. Not only does this affect individual households, but it also hampers the efforts of emergency responders who rely on clear lines of communication to coordinate rescue and relief activities.

I urge you, in your capacity as the President of the Nova Scotia Federation of Municipalities, to prioritize and intensify your advocacy towards both the Provincial and Federal Governments through your Public Safety Advisory Committee or possibly creating a dedicated committee on the issue. While it is understood that there are multiple challenges and budget constraints to be managed, the well-being and safety of the citizens should always be paramount.

Moreover, improved cellular infrastructure would not only enhance safety but also contribute to the economic and social development of these rural areas. This long-term investment would benefit our communities in multiple ways, making it a "win-win" situation for all stakeholders involved.

Thank you for your attention to this vital issue. Together, we can forge a stronger and safer Nova Scotia for everyone.

Sincerely,

Warden Penny Smith
Municipality of Shelburne



Warden Eddie Nickerson
Municipality of Barrington



Mayor Rex Stoddard
Town of Clark's Harbour



Mayor Cory Nickerson
Town of Lockeport



Mayor Harald Locke
Town of Shelburne



Tim Houston, Premier
Rick Perkins, MP – South Shore – St. Margarets
Nolan Young, MLA – Shelburne
Juanita Spencer, NSFM - Chief Executive Officer
Ellen Desmond, CRTC – Commissioner Atlantic Region & Nunavut
Paul Mason, NSEMO – Executive Director
All Nova Scotia Municipalities

From: [Glenn Horne](#)
To: [Beth Schumacher](#)
Subject: FW: EXTERNAL: Province Invests in New Cellular for Nova Scotia Program
Date: November 6, 2023 3:41:20 PM

From: Build Nova Scotia <info@buildns.ca>
Sent: Wednesday, November 1, 2023 11:16 AM
To: Glenn Horne <glenn.horne@antigonishcounty.ns.ca>
Subject: EXTERNAL: Province Invests in New Cellular for Nova Scotia Program

You don't often get email from info@buildns.ca. [Learn why this is important](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

[View this email in your browser](#)



Province Is Taking Action to Bring Cell Service to All Nova Scotians

Cellular for Nova Scotia Program - Fall 2023 Update

On October 26, 2023, the Province announced it is investing \$47.3 million to start the new [Cellular for Nova Scotia Program](#) to expand telecommunications infrastructure and communications networks throughout the province.

Build Nova Scotia has been charged by the Province to plan, design, and manage the implementation of expanded cellular coverage throughout the province.

Led by Build Nova Scotia, this will involve a two-phased approach:

- [The first Request for Proposals \(RFP\)](#) is seeking innovative and cost-effective proposals to install cellular equipment on existing provincially-owned towers and other existing towers and/or infrastructure identified by proponents to expand cell coverage in underserved areas. The focus is on more immediate innovative solutions.
- RFP 2 will follow to seek solutions to address remaining gap areas.

This will also ensure that the solutions identified are sustainable and are being coordinated with federal and provincial initiatives planned or underway, while ensuring maximum coverage as early as possible.

This investment is based on an initial understanding/analysis of the anticipated cost however responses to the RFPs will better determine exact costs. Build Nova Scotia will look to maximize investments from and leverage key partnerships with the Federal Government, municipalities, and the private sector.

The coverage objective is to provide cellular coverage to 99% of Nova Scotia where people live, work, and travel. This is for Basic Voice Call service.

Overall, the goal is to achieve the following coverage targets throughout the populated areas of the province:

1. 99% coverage for Basic Voice Call service
2. 95% coverage for Standard-Definition service (eg. emails, web browsing and social media)
3. 85% coverage for High-Definition service (eg. video conferencing, movie streaming, and other data intensive applications)

The initial focus will be in major transportation corridors and areas with civic addresses.

A separate \$3.3 million is being invested to build four new trunked mobile radio 2 (TMR2) towers to expand radio coverage for first responders in West Bay Road/Marble Mountain, Pleasant Bay in Inverness County, Framboise, Richmond County, and Greenfield in Queen's County.

These areas were identified as strategic locations that would play a role in the expansion of rural coverage for the TMR2 Public Safety Radio network. This could also help improve cell coverage access if telecommunications providers attach their equipment to those towers to extend coverage.

In 2022, Build Nova Scotia commissioned a cell gap study on behalf of the Province to study cell service levels and identify critical gaps throughout the

province. This study and additional analysis has provided a clearer understanding of a common challenge experienced across the country and helped define the scope of the problem. This will continue to be refined with ongoing discussions and RFP responses.

Through the program, a comprehensive strategy to increase cell coverage will involve working with telecommunications companies and government partners.

[Click here for the full site and more information.](#)

“Having reliable cell service is essential for Nova Scotians. It’s a matter of safety, and it’s something we all count on constantly. The current situation needs to be addressed, and we are the first government in 30 years to address this critical issue.”

**- Kim Masland, Minister of Public Works and
Minister responsible for Build Nova Scotia**

Frequently Asked Questions

Q. What is this project?

A. Build Nova Scotia is establishing the [Cellular for Nova Scotia Program](#) to expand telecommunications infrastructure and communications networks throughout the province. Through the program, a comprehensive strategy will improve cell coverage for both civic addresses and major roadways. It will involve working collaboratively with all partners in the telecommunications industry and across government.

Q. What is the \$47.3 million in funding that was announced?

A. Government is investing \$47.3 million to start the new Cellular for Nova Scotia Program to expand telecommunications infrastructure and communications networks throughout the province.

This investment is based on an initial understanding/analysis of the anticipated cost however responses to the RFPs will better determine exact costs. Build Nova Scotia will look to maximize investments from and leverage key partnerships with the Federal Government, municipalities, and the private sector.

Q. Is there anything planned to improve communications emergency services

in this program?

A. Yes. A separate \$3.3 million is being invested to build four new trunked mobile radio 2 (TMR2) towers to expand radio coverage for first responders in West Bay Road/Marble Mountain, Pleasant Bay in Inverness County, Framboise, Richmond County and Greenfield in Queen's County.

These areas were identified as strategic locations that would play a role in the expansion of rural coverage for the TMR2 Public Safety Radio network. This could also help improve cell coverage access if telecommunications providers attach their equipment to extend coverage

Q. What are you looking for from this initial RFP?

A. The Cellular for Nova Scotia Program includes a phased approach. The [first RFP](#) seeks proposals for innovative ways cellular coverage can be improved using current government infrastructure or existing privately owned towers in a fast and cost-effective manner.

The focus on phase 1 (RFP 1) is seeking more immediate innovative solutions to improve cellular coverage to underserved locations. RFP 2 will follow to seek solutions to address remaining gap areas.

Q. Will I have access? What will this provide?

A. The strategy will include closing the gaps and reducing the underserved areas as quickly as possible. That said, filling those gaps will involve installing significant amounts of additional telecommunications equipment throughout the province, which will take time. The initial RFP is anticipated to close late this fall.

Build Nova Scotia recognizes that implementation periods will vary with the scope and complexity of the proposed projects. The goal is to have these initial projects substantially completed by December 31, 2024.

To view the full list of FAQs, visit [here](#).



Satellite Internet Service Rebate Reminder

A reminder that our Satellite Internet Service Rebate Program is still active, and you could be eligible for a one-time rebate of up to \$1000 on select satellite internet hardware and installation solutions. Please note if you are in a [current project area for high-speed internet](#) that is not yet complete, those projects continue to advance and you can switch from satellite to wired/fibre/fixed wireless once access is available.

For more information on the rebate, and how you can apply, click the link [here](#).

For a quick overview guide on the program, click the link [here](#).

As of September 2023, 87,035 homes and businesses have been connected through the [Internet for Nova Scotia Initiative](#) since it was established in 2018 and have access either through traditional Initiative projects or the Satellite Internet Service Rebate Program. To date, we have 96.2% coverage with access to connections continuing to happen.

[Satellite Internet Service Rebate - Address Look-Up](#)

[Build Nova Scotia Website](#)



If you have questions, please contact us at satellite@buildns.ca or by calling [1-800-298-2854](tel:1-800-298-2854).

Copyright © 2023 Build Nova Scotia, All rights reserved.

You are receiving this email because you asked to receive further updates regarding rural internet.

Our head office address is:

Build Nova Scotia
Suite 301 - 1875 Upper Water Street
Halifax, Nova Scotia
B3J 1S9

Want to change how you receive these emails?

You can [update your preferences](#) or [unsubscribe from this list](#).



**Public Works
Office of the Minister**

PO Box 186, Halifax, Nova Scotia, Canada B3J 2N2

NOV 07 2023

Warden Owen McCarron
Municipality of the County of Antigonish
285 Beech Hill Road
Beech Hill, NS B2G 0B4
beth.schumacher@antigonishcounty.ca

Dear Warden McCarron:

Thank you for your correspondence of October 10, 2023, regarding your request for an update on a speed study and the installation of a crosswalk on Highway 337 at the Mount Cameron Circle intersection in Antigonish County.

I have been advised that the District Traffic Supervisor has not finalized his report on his findings. Once his report has been completed, it will be made available.

Thank you for bringing Council's concerns to my attention. If you have any additional questions or would like to discuss options going forward, you can reach out to Paul Colton, District Director at 902-863-8900 or at paul.colton@novascotia.ca or Basil Pitts, Area Manager at 902-870-4746 or at basil.pitts@novascotia.ca.

Yours sincerely,

A handwritten signature in blue ink, appearing to read 'Kim D. Masland'.

Kim D. Masland
Minister

c: Honourable Michelle Thompson, MLA Antigonish
Paul Colton, District Director
Basil Pitts, Area Manager, Antigonish/Guysborough

MUNICIPALITY OF THE COUNTY OF
ANTIGONISH

TO: MUNICIPAL COUNCIL
FROM: Bill MacFarlane
SUBJECT: **Asset Management Committee Report**
DATE: November 14, 2023

The Asset Management Committee was convened on Tuesday, October 24, 2023. The following Councillors were present:

Acting Deputy Warden MacFarlane, Chair
Warden McCarron
Councillor MacDonald
Councillor MacLellan
Councillor Brophy
Councillor Deveau
Councillor Dunbar
Councillor Mattie
Councillor McNamara

No recommendations were made.

The following business was discussed:

The Committee received a presentation from local representatives from the Nova Scotia Department of Public Works regarding road construction projects and maintenance.

MUNICIPALITY OF THE COUNTY OF
ANTIGONISH

TO: MUNICIPAL COUNCIL
FROM: Glenn Horne, CAO
SUBJECT: COMMITTEE OF THE WHOLE REPORT
DATE: November 14, 2023

The Committee of the Whole was reconvened on Tuesday, October 24, 2023, following the regular meeting of Municipal Council. The following Councillors were present:

Warden McCarron
Councillor MacLellan
Councillor MacDonald
Councillor Brophy
Councillor Deveau
Councillor Dunbar
Councillor Mattie
Councillor McNamara
Councillor MacFarlane

The following recommendations were made:

The Committee recommends that Municipal Council send a letter to Minister Masland, MLAs Thompson and Morrow, and Warden Pitts regarding concern with the deferral of the construction of the roundabout at the intersection of Trunk 4 and Trunk 16 in Monastery, due to its priority to the community to address safety concerns.

MUNICIPALITY OF THE COUNTY OF
ANTIGONISH

BY-LAW NUMBER #01-2023
AMENDING THE BY-LAW RESPECTING
CHARGES FOR LOCAL IMPROVEMENTS

WHEREAS Section 81 of the *Municipal Government Act* provides that a Municipality may make by-laws imposing, fixing and providing methods of enforcing payment of charges for types of local improvements, and

NOW THEREFORE by the Council of the Municipality of the County of Antigonish enacts as follows:

1. That the By-law Respecting Charges for Local Improvements be further amended by adding the following to Schedule "A":

SCHEDULE "A"

Somers Road water main extension – 2017.

- a) The project will involve a 1.5 km extension of the existing water main to the end of Somers Road.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
10016491; 10113082; 01209865; 10071348; 10105609; 01295419; 10008548; 01281401;
01209949; 01209964; 01281179; 01281195; 01281211; 10004844; 10009736; 01209907;
01209923; 10008001; 10124618; 01209956; 10035368; 01299098; 10071355; 01299726;
01209873; 10070928; 01209931; 10125193
- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property subsequently created fronting Somers Road in the area of the water main extension described herein is subject to the local improvement charge and terms of payment referenced in 1(c).
- e) Any property not listed in 1(b) seeking to connect to the water main extension described herein **via direct lateral or private line** is subject to the local improvement charge stated in 1(c) as well as the Building Service Connection fee stated in section 9(1) of this By-Law.
- f) The cost of the project shall be subject to an interest rate **consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.**

West River Cross Paving – 2019.

- a) The project will involve the paving West River Cross Road.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
01211085; 10071637; 01211168; 01211093; 01211325; 01211077; 01210905;
01211432; 10103117; 01211101
- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.

MUNICIPALITY OF THE COUNTY OF
ANTIGONISH

- d) Any property subsequently created fronting West River Cross in the area of the paving described herein is subject to the local improvement charge and terms of payment referenced in 1(c).
- e) The cost of the project shall be subject to an interest rate **consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.**

Beech Hill Waterline Extension – 2019.

- a) The project will involve the extension of the municipal waterline on Beech Hill Road.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
10058113; 10109015; 01249986
- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property subsequently created fronting Beech Hill in the area of the waterline extension described herein **via direct lateral or private line** is subject to the local improvement charge and terms of repayment referenced in 1(c).
- e) The cost of the project shall be subject to an interest rate **consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.**

Cameron Kinney Hill Waterline Extension - 2020

- a) The project will involve a 960-metre extension of the existing water main along Highway 7.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
10010833; 10032019; 10004653; 1212133; 1280932; 1298918; 1212158; 1294446; 1212141; 1212125; 10010841; 10011369; 1212182
- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property subsequently created fronting Highway 7 in the area of the water main extension described herein **via direct lateral or private line** is subject to the local improvement charge and terms of payment referenced in 1(c).
- e) Any property not listed in 1(b) seeking to connect to the water main extension described herein **via direct lateral or private line** is subject to the local improvement charge stated in 1(c) as well as the Building Service Connection fee stated in section 9(1) of this By-Law.
- f) The cost of the project shall be subject to an interest rate of **consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.**

(as amended by By-law #03-2020)

MUNICIPALITY OF THE COUNTY OF
ANTIGONISH

North Grant Waterline Extension – 2020

- a) The project will involve a 1.7 km extension of the existing water main along Highway 245.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
- c) 01297357; 01207802; 01207729; 01207794; 01207695; 10081099; 01207828; 01207810; 01207711; 10093292; 01207687; 01311752; 01207844; 01212521; 01207679; 01207661; 01207653; 01312289; 01207646; 01207604
- d) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- e) Any property subsequently created fronting Highway 245 in the area of the water main extension described herein **via direct lateral or private line** is subject to the local improvement charge and terms of payment referenced in 1(c).
- f) Any property not listed in 1(b) seeking to connect to the water main extension described herein **via direct lateral or private line** is subject to the local improvement charge stated in 1(c) as well as the Building Service Connection fee stated in section 9(1) of this By-Law.
- g) The cost of the project shall be subject to an interest rate **consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.**

(as amended by By-law #03-2020)

Somers Road Paving – 2020

- a) The project will involve the paving Somers Road.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
01209873; 01209907; 01299726; 10113082; 10125193; 01209865; 10071348; 10004844; 01281179; 01281195; 01281211; 10071355; 10009736; 10070928; 10105609; 10008001; 10035368; 01295419; 01299098; 10008548; 01209923; 01281401; 01209931; 01209956; 01209949; 01209964; 10124618
- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property subsequently created fronting Somers Road in the area of the paving described herein is subject to the local improvement charge and terms of payment referenced in 1(c).
- e) The cost of the project shall be subject to an interest rate of **consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.**

Willowdale Lane Paving – 2020

- a) The project will involve the paving Willowdale Lane.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
10110542; 1248731; 1295492; 1248749; 1248723; 1248681; 1248699; 1248707

MUNICIPALITY OF THE COUNTY OF
ANTIGONISH

- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property subsequently created fronting Willowdale Lane in the area of the paving described herein is subject to the local improvement charge and terms of payment referenced in 1(c).
- e) The cost of the project shall be subject to an interest rate **consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.**

(as amended by By-law #03-2020)

Highway 337 Waterline Extension – 2023

- a) The project will involve a 2km extension of waterline on Highway 337 in Lanark.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
1234095; 10126738; 10078558; 1234079; 1234053; 1301977; 10074078; 10074060; 10117356; 1284041; 10056000; 1234103; 10114205; 10127199; 1302173; 10059822; 1234111; 10121218; 10005338; 1234137; 1301993.
- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property not listed in 1(b) seeking to connect to the water main extension described herein via direct lateral or private line is subject to the local improvement charge stated in 1(c) as well as the Building Service Connection fee stated in section 9(1) of this By-Law.
- e) The cost of the project shall be subject to an interest rate of consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.

St. Josephs Waterline Extension – 2023

- a) The project will involve a 3.2km extension of waterline on the Ohio East Road and Addington Forks Road.
- b) Properties with the following PID numbers shall be subject to the local improvement charge:
10071397; 10097012; 01238872; 01238864; 01238856; 10126761; 01288042; 01238823; 01265040; 01238773; 01238781; 01266212; 01238732; 10097194; 01238740; 01304526; 01304534; 01304542; 01304567; 01238716; 10070381; 01314863; 01238724; 01238831; 01238849; 01304559; 10010874; 10010882; 10012409; 10017002; 10099257; 10070399; 10019719; 01283795; 01238799
- c) The local improvement charge and repayment terms can be found in the Municipal Local Improvements Fee Policy.
- d) Any property not listed in 1(b) seeking to connect to the water main extension described herein via direct lateral or private line is subject to the local improvement charge stated in 1(c) as well as the Building Service Connection fee stated in section 9(1) of this By-Law.

- e) The cost of the project shall be subject to an interest rate of consistent with the County's approved rate and based on the Local Improvement Charge payment schedule.

READ a first time this
Tenth day of October, 2023

READ a second time and passed this
_____ day of _____, 2023

Warden

CAO

DRAFT

MUNICIPALITY OF THE COUNTY OF
ANTIGONISH

TOPIC: Municipal Local Improvements Fees Policy
POLICY NUMBER: 46
DATE APPROVED: November 23, 2020 (#2020-152)
DATE REVISED:

1. TITLE

1.1 This Policy may be cited as the “Local Improvements Fee Policy”

2. PURPOSE AND OBJECTIVES

- 2.1. This policy related to the By-Law Respecting Charges for Local Improvements and identified the specific charges and associated repayment terms for a local improvement as approved from time to time by Municipal Council
- 2.2. Additional descriptions and terms for each project listed can be found in Appendix “A” of the By-law Respecting Charges for Local Improvements.
- 2.3. This Policy shall be updated to reflect new projects, charges and terms as well as amendments to existing terms.

3. LOCAL IMPROVEMENT RATES AND TERMS BY PROJECT

3.1. Somers Road Waterline Extension – 2017

- 3.1.1. The local improvement charge is a flat rate of \$2,474.70 per property.
- 3.1.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of ten years.

3.2. West River Cross Paving – 2019

- 3.2.1. The local improvement charge is a flat rate of \$2,200.00 per property.
- 3.2.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of five years.

3.3. Beech Hill Waterline Extension – 2019

- 3.3.1. The local improvement charge is a flat rate of \$2,092.20 per property.
- 3.3.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of ten (10) years.

3.4. Cameron Kinney Hill Waterline Extension – 2020

- 3.4.1. The local improvement charge is estimated to be a flat rate of \$2612.00 per property.
- 3.4.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of ten (10) years.

3.5. North Grant Waterline Extension – 2020

3.5.1. The local improvement charge is estimated to be a flat rate of \$4310.00 per property.

3.5.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of ten (10) years.

3.6. Somers Road Paving – 2020

3.6.1. The local improvement charge is estimated to be a flat rate of \$2781.00 per property.

3.6.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of five (5) years.

3.7. Willowdale Lane Paving – 2020

3.7.1. The local improvement charge is estimated to be a flat rate of \$2972.00 per property.

3.7.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of five (5) years.

3.8. Highway 337 Waterline Extension – 2023

3.8.1. The local improvement charge is estimated to be a flat rate of \$4,370.00 per property.

3.8.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of ten (10) years.

3.9. St. Josephs Waterline Extension – 2023

3.9.1. The local improvement charge is estimated to be a flat rate of \$4,000.00 per property.

3.9.2. Each property owner shall have the option of paying one upfront payment or equal annual installments to a maximum of ten (10) years.